



DESERT HARBOR

master signage criteria plan phases 1 & 2

submitted by: equity enterprises
prepared by IDEA

august 16, 2005

updated december 1, 2005



project logo

DESERT HARBOR

project narrative

the inspiration for the theme for Desert Harbor is gleaned from the nautical notion of HARBOR. This has been imparted through the logo for the project and the elegant, western tinged typeface of Palatino.

Historically, nautical themes have included some form of a sailing vessel or a group of vessels, sail forms, water or some form of seafaring antiquities such as lighthouses or ships wheels. The desert setting and the contemporary context of this project necessitated a more abstract expression of these historic notions. Thus the logo for the project is an abstract composition of water, sail and mast that implies forward movement. Such forward movement is the goal of any business venture. It speaks of progress and moving into, at many times, uncharted waters, the adventure of business.

sign criteria

These sign criteria have been developed to ensure design compatibility and consistency among all signs within Desert Harbor in the City of Peoria, Arizona. Conformance with these criteria will be strictly enforced by the project developer, Equity Enterprises and its successors. Any sign that is installed and is not in conformance with these criteria or not approved by the developer or its successors, must be removed or brought into conformance by the tenant/owner to the satisfaction of the developer or its successors.

The developer or its successors shall approve of all tenant/owner signs, in writing, prior to installation. Approval shall be for appearance and location on the building only. The developer is not responsible for review for conformance with the City of Peoria sign code. Sign permits must be obtained from the City by the tenant/owner. These criteria have been developed exclusively for an office condominium and retail project known as Desert Harbor and all signs must be in compliance with these criteria.

general signage requirements

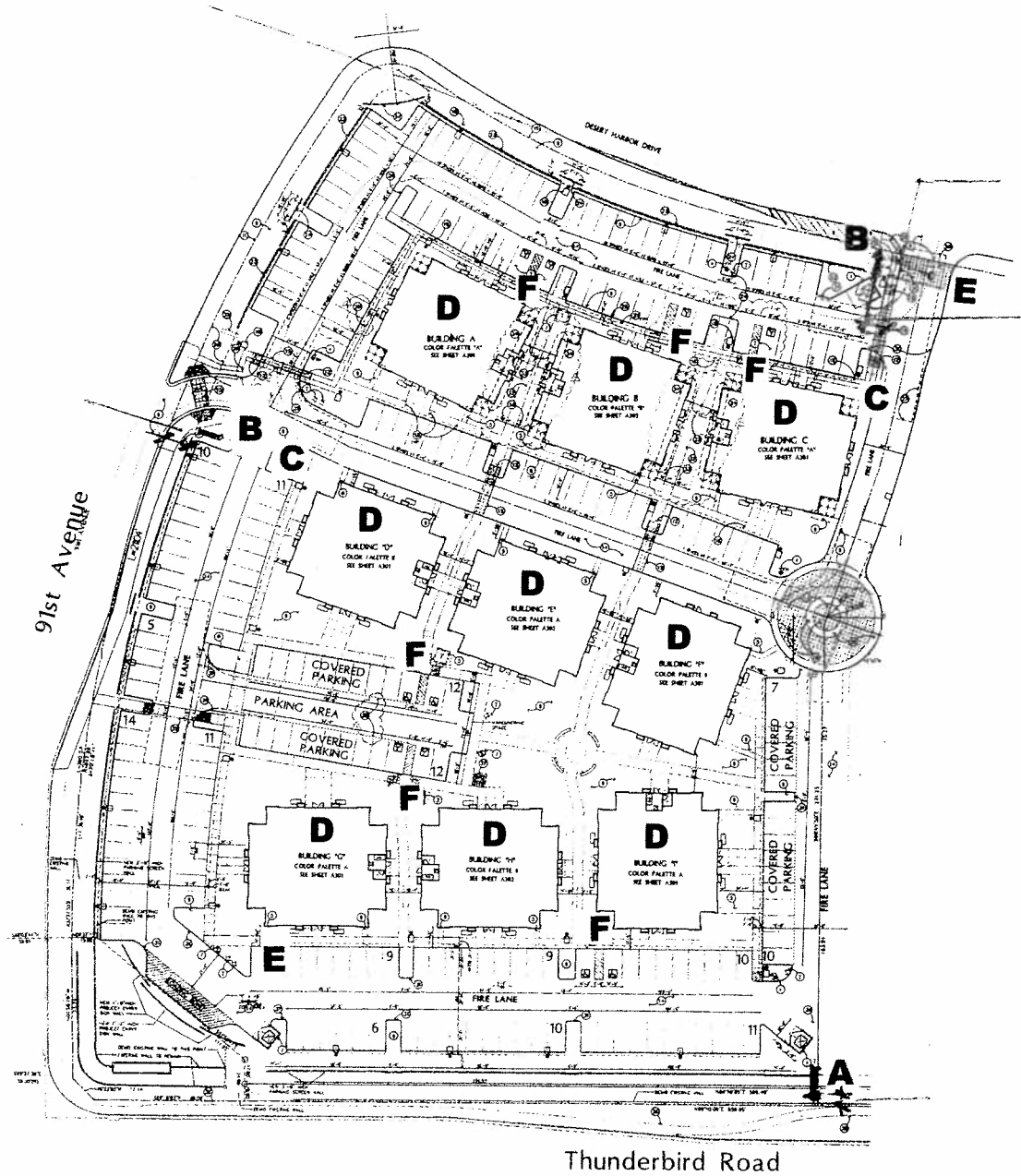
Any reference herein to the word tenant, owner or tenant/owner shall be construed to include any owner or tenant of any single building or portion of a building under the terms of office condominium ownership as established by the developer. Any reference to developer as it pertains to these criteria shall mean Equity Enterprises or its successors. City shall refer to the City of Peoria.

1. Tenant/Owner shall submit 2 sets of shop drawings and specifications for all signs proposed to be installed on a building including glass-mounted lettering. Developer shall review the shop drawings and specifications and return one set to the tenant/owner marked "approved," "approved as noted," or "revise and re-submit".
2. "revise and re-submit" drawings will be returned to the tenant/owner with comments. These drawings shall be revised by the tenant/owner and resubmitted to the developer for approval.
3. Upon receipt of developer approval, tenant/owner shall proceed with the city permit process.
4. No signs, advertisements, notices or other lettering shall be exhibited, inscribed, painted or affixed on any part of a sign, except lettering and/or graphics which have received prior written approval of the developer.
5. Tenant/owner or its authorized representative shall obtain all permits for the installation of the tenant signs.
6. Tenant/owner shall have sole responsibility for compliance with all applicable statutes, codes, ordinances or other regulations for all work performed on the premises by or on behalf of the tenant/owner. Subsequent to City approval, tenant/owner may proceed with the installation of signs.
7. The approval of the developer of each tenant/owner plans, specifications, calculations or work shall not constitute an implication, representation, or certification by the developer that said items are in conformance and compliance with applicable statutes, codes, ordinances or other regulations.
8. All signage is subject to City approval and these criteria.
9. All building mounted signage shall be constructed and installed at the sole expense of the tenant/owner unless prior arrangements to the contrary have been agreed upon and stated in writing in the purchase or lease terms.

10. Tenant/owner and the tenant/owner's contractor shall be responsible for the repair of any damage caused by its installation or the removal of any signage.
11. All sign bolts, fastenings, sleeves and clips shall be of hot-dipped galvanized iron, stainless steel, aluminum or brass. Black iron material of any type for mounting purposes will not be permitted.
12. No labels shall be permitted on the exposed surface of signs, except those required by local ordinance. Those required shall be applied in an inconspicuous location.
13. Any penetrations of the building structure required for sign installation shall be neatly sealed in a watertight condition.
14. No exposed tubing, conduit or raceways will be permitted. All conductors, transformers, and other equipment shall be concealed.
15. All electrical signs components shall bear the UL label.
16. All signs shall conform to both the Uniform Building Code and the National Electrical Code.
17. Tenant/owner shall bear all liability and responsibility for the operation of their selected sign contractor.
18. Painted lettering on buildings or glass will not be permitted.
19. Flashing, moving or audible signs will not be permitted.
20. Individual freestanding signs will not be permitted except as described in these plans for sign types A and B. Monument signs shall not contain individual tenant names except as indicated on the Thunderbird sign.
21. Exposed neon lighting is not permitted.
22. High-performance glass-applied vinyl graphics in the project logotype of Palatino with a maximum height of 2" in upper and lower case, to display the name, address, emergency numbers and hours of operation may be applied to the storefront adjacent to the main entry door not to exceed 2 square feet of copy to accommodate the names of individual professionals within a singular or group practice. The layout shall be submitted and approved by the developer prior to installation.
23. Wall-mounted tenant/owner name signage shall be individual 24" high maximum x 2" deep reverse pan channel letters Palatino in powder-coated finish rust color. The tenant/owner may exercise the option to either non-illuminate or halo illuminate the letters. In no event may signs within 100 feet of a residential zone be illuminated.
24. Any changes to previously approved signage or other window or storefront lettering or graphics will require the tenant/owner submit shop drawings and specifications for the written approval of the developer and said changes shall be subject to City approval.

tenant / owner signage

1. The purpose of the tenant/owner signage is to effectively identify and directs clients, patients and customers to a building or part of a building from the street and/or parking areas through the use of the business name and address numbers.
2. All tenant/owner signage shall be as described in item 23 of the general sign requirements section herein. Signs shall be located in a manner consistent with the guidelines presented in graphic elevations of this document for sign for location and placement on the building wall according to the 4 elevations in conformance the city sign ordinance
3. All signage shall correspond with the owned or leased area of the building and shall be placed on the elevation within said area of lease or ownership. In the rare case where this can not be achieved the tenant/owner shall submit a detailed description and shop drawing of any deviation to these criteria to the developer for approval.
4. Corporate logos, corporate colors, corporate lettering styles and the like are permitted under these criteria. In the event that a tenant does not have such corporate criteria, the lettering shall be of the style and finish referenced in number 23 of the general sign requirements section herein and per the City of Peoria ordinance.

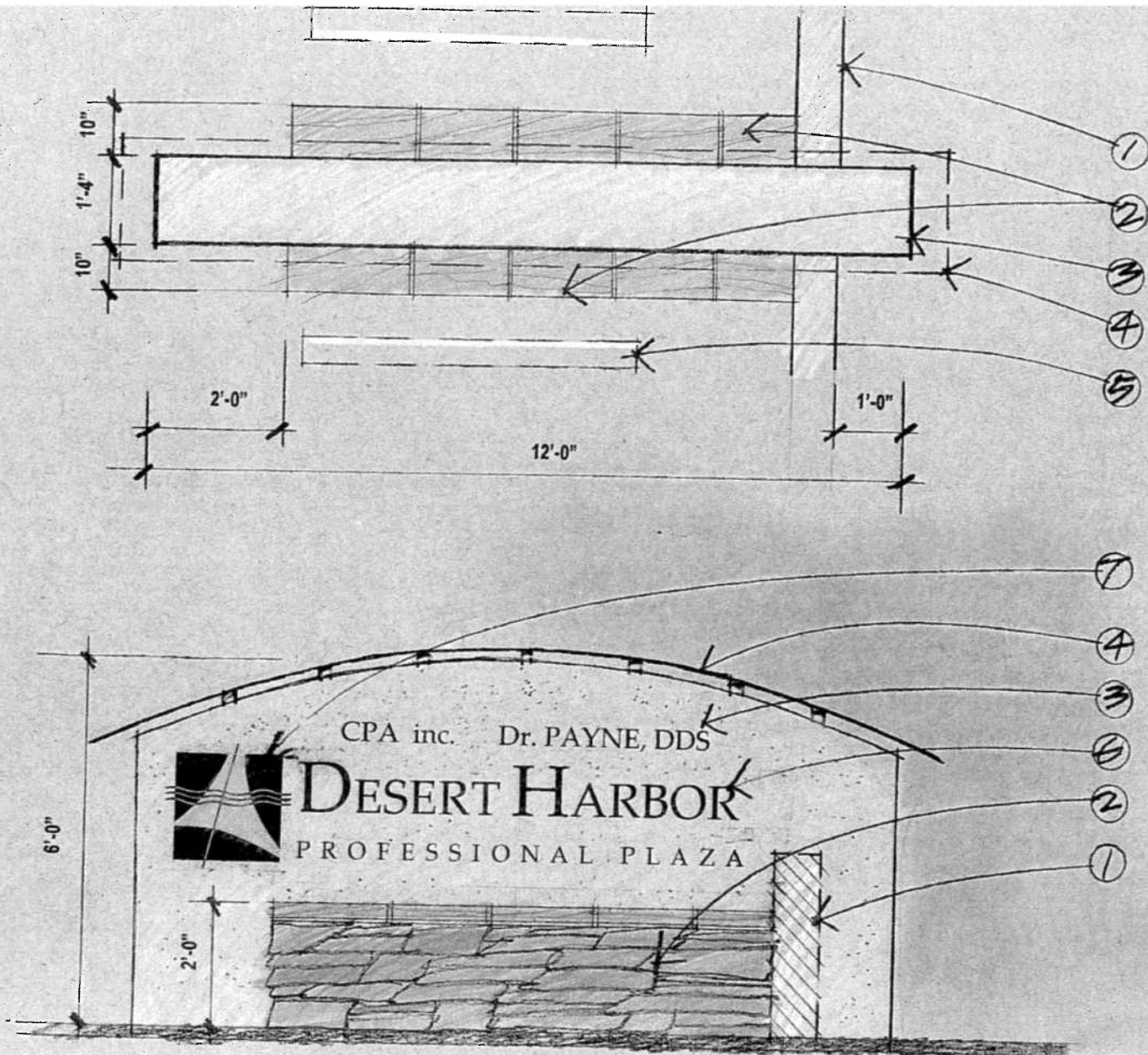


plan legend

- A** primary monument
- B** secondary monument
- C** project map and dir
- D** office tenant signag
- E** regulatory signage
- F** accessible parking

DESERT HARBOR

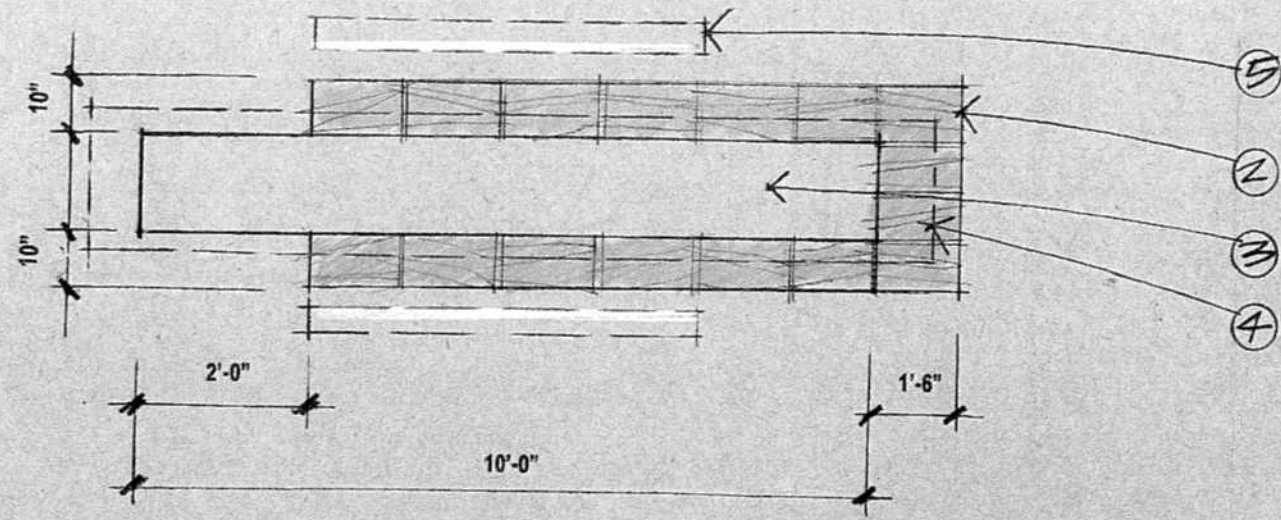
master signage criteria plan phases 1 & 2



keynotes

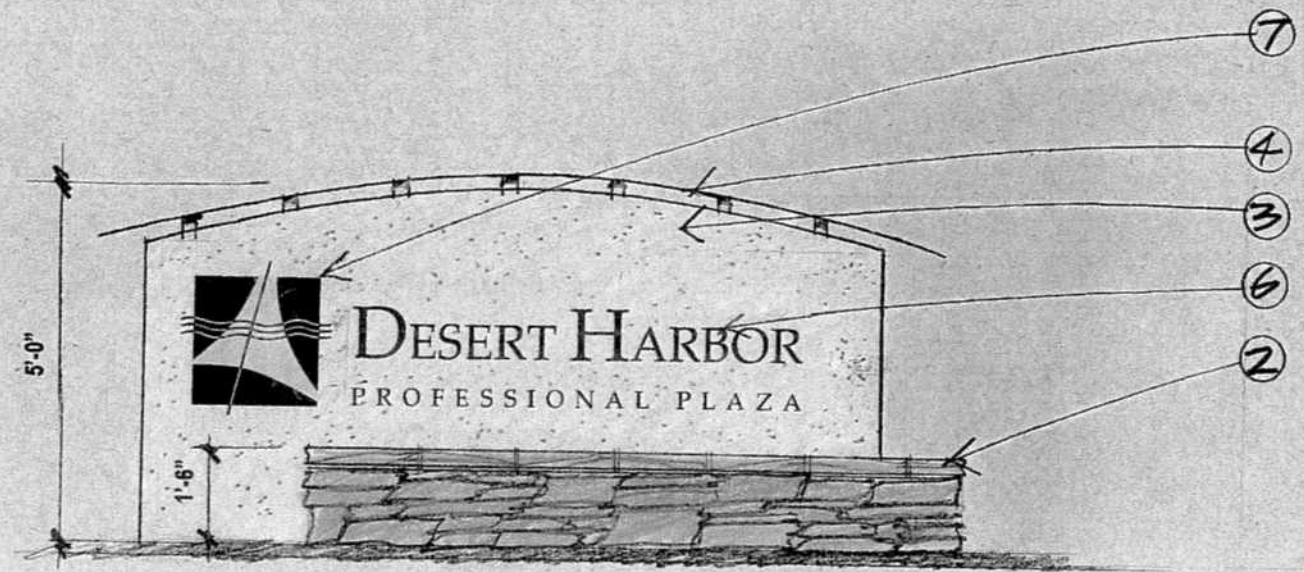
1. site screen wall
2. stone veneer over cmu with 2" sandstone cap
3. cmu wall with stucco finish to match buildings (color as selected)
4. 1/2" thick brushed aluminum plate with 2" diameter x 2" aluminum tube as bushings at anchor points
5. linear fluorescent landscape lighting as sign illumination
6. brushed aluminum reverse parallel letters (2") for 'Desert Harbor' and plate letters pinned off 1" for 'professional plaza'
7. blue high performance graphic aluminum scone plate pinned off
8. 2" sandstone cap
9. concrete curb condition
10. 1/2" brushed aluminum plate with high-performance graphics (stop sign)
11. standard accessible parking sign mounting brackets to tube frame.
12. 2" square painted steel tube to building metal color P-1.
13. 4" square painted steel tube to building metal color P-1.
14. concrete footing

A main monument sign plan and elevation
 scale: 1/2"=1'-0"



keynotes

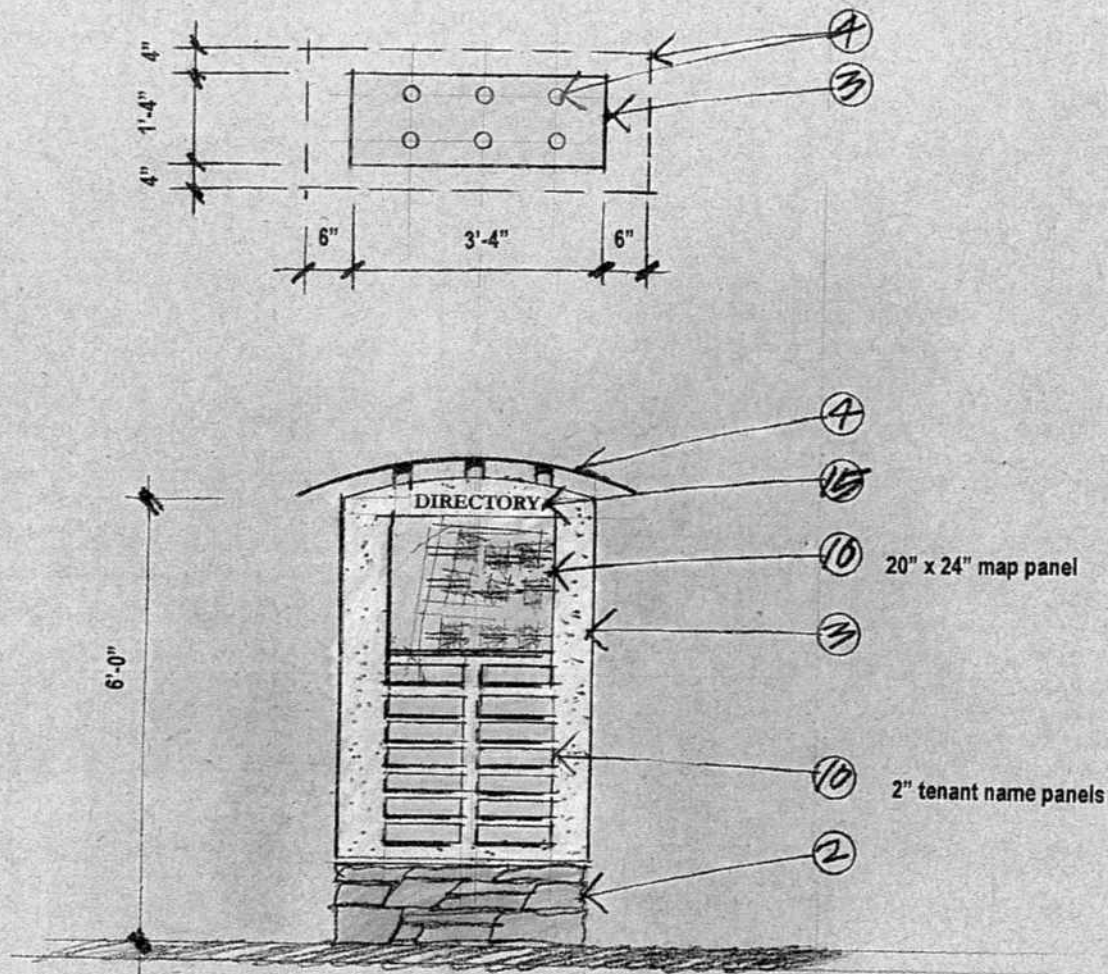
1. site screen wall
2. stone veneer over cmu with 2" sandstone cap
3. cmu wall with stucco finish to match buildings (color as selected)
4. 1/2" thick brushed aluminum plate with 2" diameter x 2" aluminum tube as bushings at anchor points
5. linear fluorescent landscape lighting as sign illumination
6. brushed aluminum reverse pan channel letters (2") for 'Desert Harbor' and 1/4" thick aluminum plate letters pinned off 1" for 'professional plaza'
7. blue high performance graphics over 1/2" aluminum sconce plate pinned off 1".
8. 2" sandstone cap
9. concrete curb condition
10. 1/2" brushed aluminum plate with applied high-performance graphics (stop sign, no parking)
11. standard accessible parking sign with mounting brackets to tube frame.
12. 2" square painted steel tube to match building metal color P-1.
13. 4" square painted steel tube to match building metal color P-1.
14. concrete footing



B secondary monument sign plan and elevation
scale: 1/2" = 1'-0"

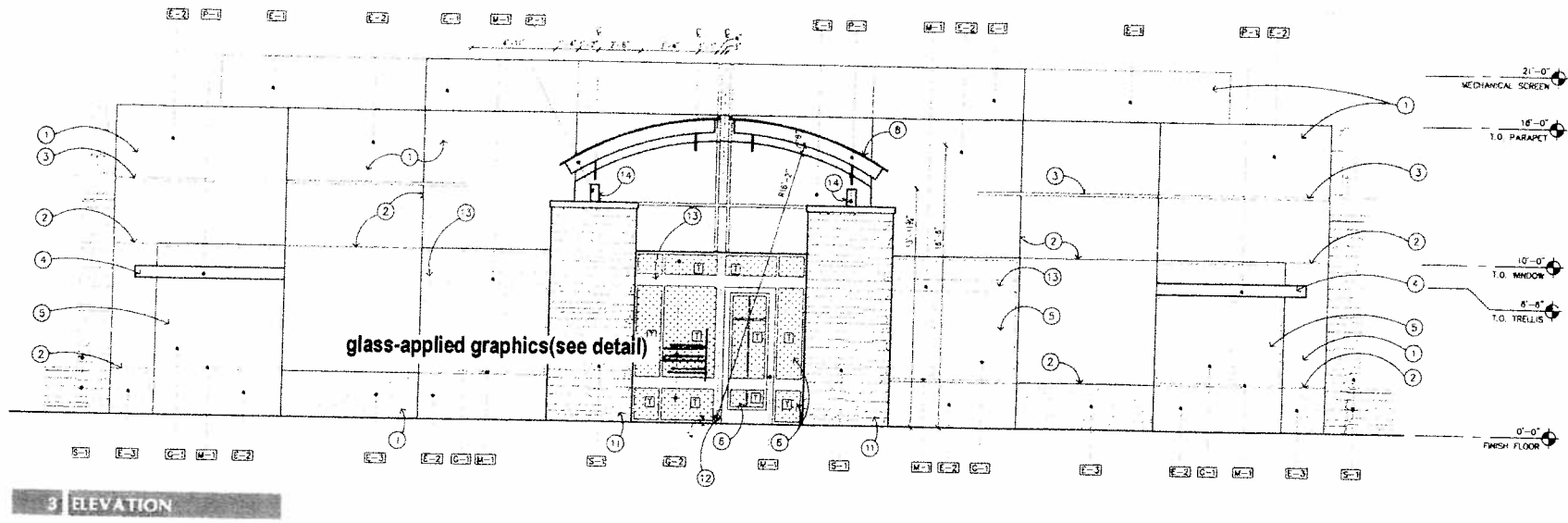
key notes

1. site screen wall
2. stone veneer over cmu with 2" sandstone cap
3. cmu wall with stucco finish to match buildings (color as selected)
4. 1/2" thick brushed aluminum with 2" diameter x 2" aluminum as bushings at anchor points
5. linear fluorescent landscape lighting as sign illumination
6. brushed aluminum reverse side letters (2") for 'Desert Harbor' and plate letters pinned off 1" for 'project'
7. blue high performance graphic aluminum sconce plate pinned to wall
8. 2" sandstone cap
9. concrete curb condition
10. 1/2" brushed aluminum plate with high-performance graphics (stone and blue)
11. standard accessible parking mounting brackets to tube frame
12. 2" square painted steel tube building metal color P-1.
13. 4" square painted steel tube building metal color P-1.
14. concrete footing

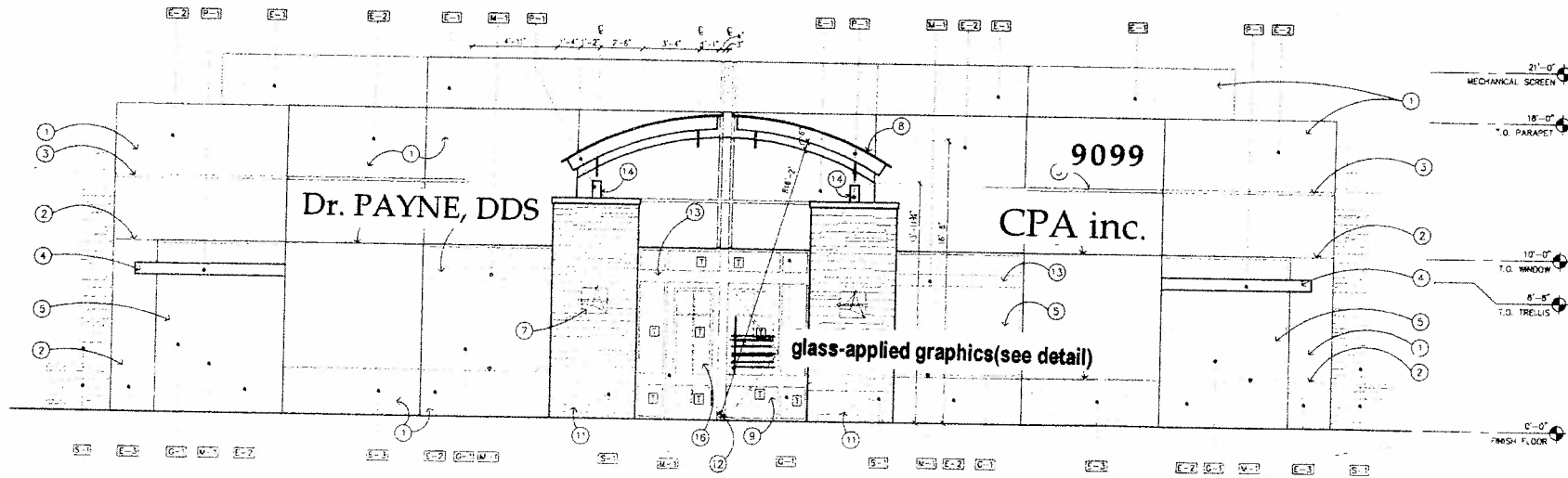


C project map and directory elevation

scale: 1/2" = 1'-0"



3 ELEVATION



2 ELEVATION

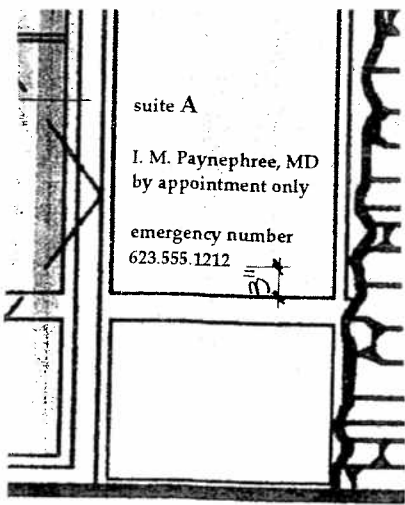
D office tenant signage criteria elevations
 scale: 1/8"=1'-0"

building signage

tenant names shall be a maximum of 24" in height
 brushed aluminum finish
 option for tenants to use
 amber color halo

addresses shall be a maximum of 18" in height
 brushed aluminum finish
 accordance with code

Note: signage shall be on
 and/or common panels



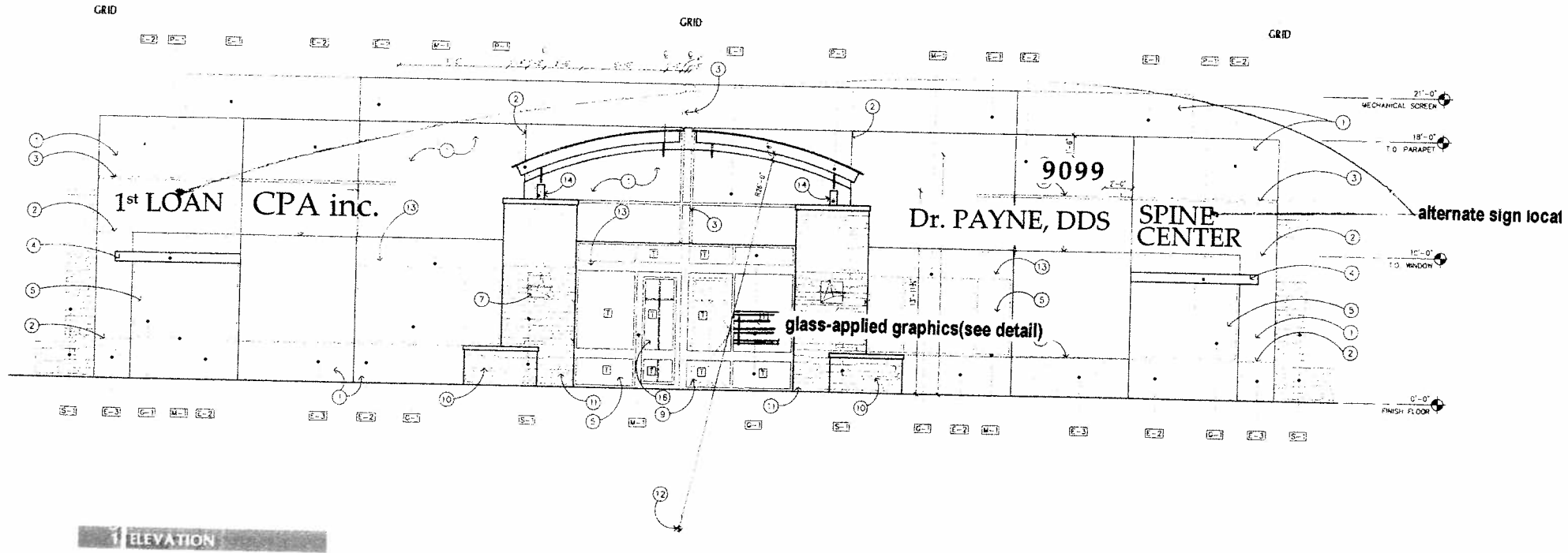
glass-applied signage
scale: 1/2"=1'-0"

building signage

tenant names shall have a maximum of 24" height
brushed aluminum finish
option for tenant names in amber color halftone

addresses shall have a maximum of 18" height
brushed aluminum finish
accordance with building code

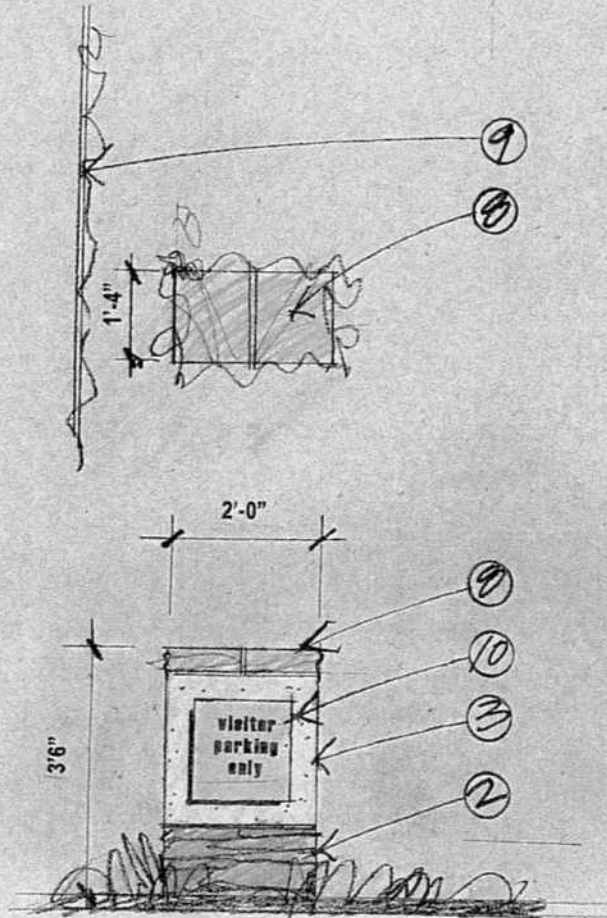
Note: signage shall be consistent and/or common



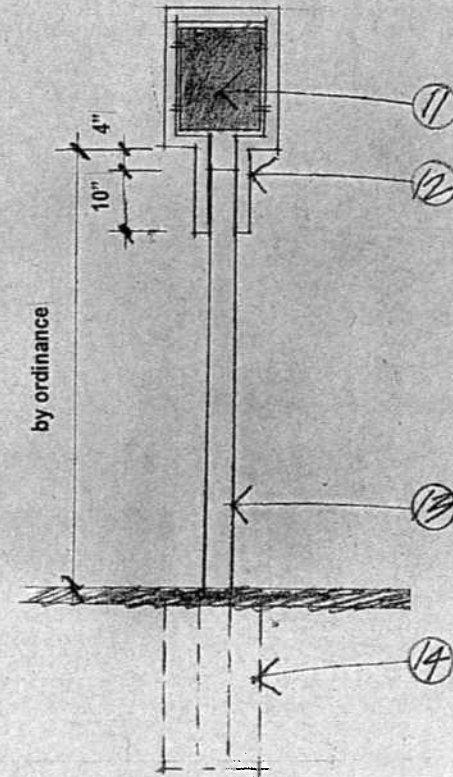
D office tenant signage criteria elevation
scale: 1/8"=1'-0"

keynotes

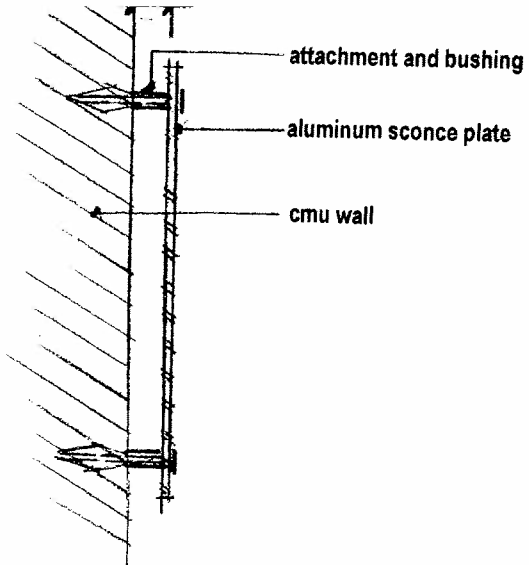
1. site screen wall
2. stone veneer over
3. cmu wall with stone veneer to match buildings
4. 1/2" thick brushed aluminum with 2" diameter x 2' as bushings at anchor
5. linear fluorescent as sign illumination
6. brushed aluminum letters (2") for 'Desert' plate letters pinned to
7. blue high performance aluminum sconce plate
8. 2" sandstone cap
9. concrete curb cap
10. 1/2" brushed aluminum high-performance grille
11. standard accessible mounting brackets to
12. 2" square painted building metal color
13. 4" square painted building metal color
14. concrete footing



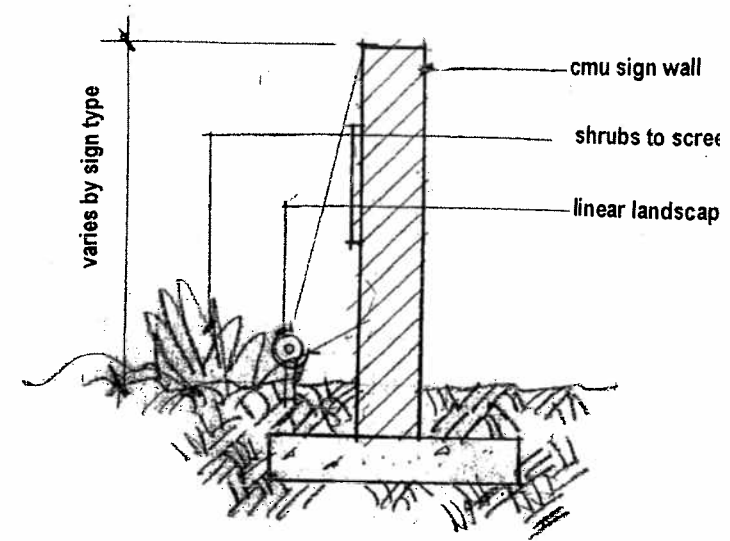
E regulatory signage
scale: 1/2"=1'-0"



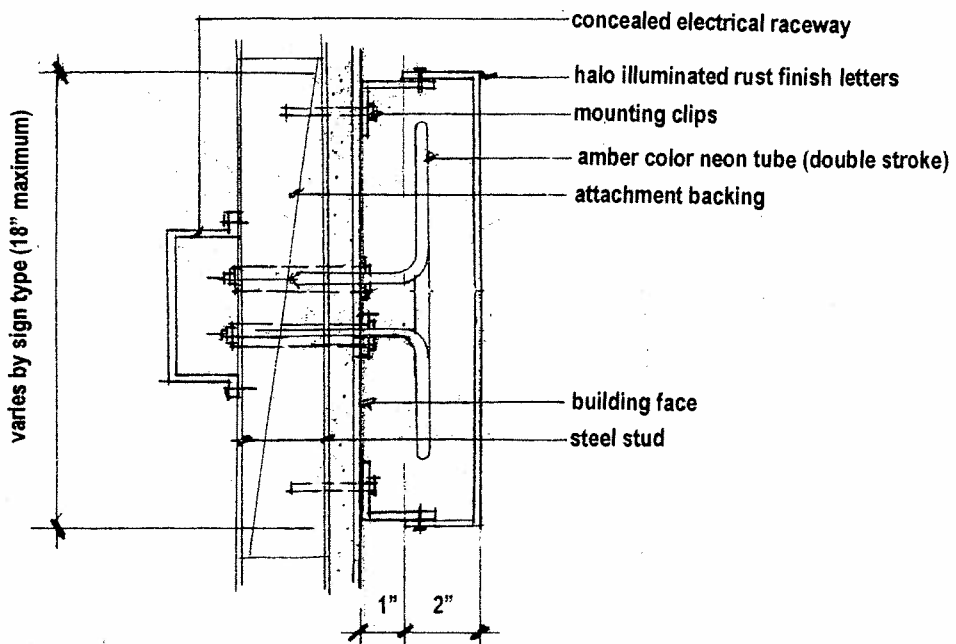
F accessible parking sign
scale: 1/2"=1'-0"



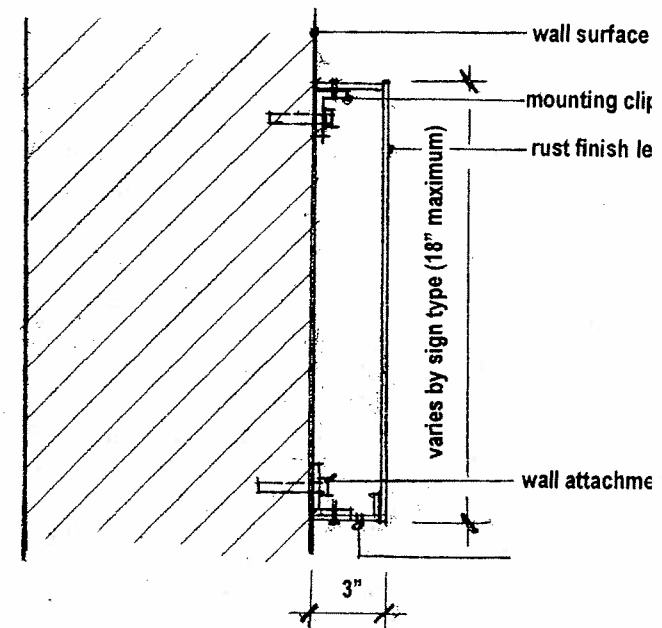
A sconce plate section
scale: 1"=1'-0"



B sign lighting section
scale: 1"=1'-0"



C illuminated building sign mount detail
scale: 3"=1'-0"



D non-illuminated building sign mount detail
scale: 3"=1'-0"