



McDOWELL
MOUNTAIN

**MASTER
TENANT-SIGN
PACKAGE**

July 14, 2005

9825 East Bell Road, Scottsdale, Arizona



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REVISION LIST

The following is a table of revisions made after the original sign package was approved on June 2004.

Delta	Rev. Date	Description
1	07/14/05	Clarification of quarter building tenant signage location. An alternate location for the directional tenant-sign for better visibility.

Note:

All revisions are labeled with a "delta" symbol with a number inside to denote which revision it is. See table for description of revision

ARCHITECTURAL
APPROVAL ONLY

ALL SIGNS
REQUIRE FINAL
PLAN REVIEW
& APPROVAL

ALL SIGNAGE
MUST CONFORM
TO SEC. 8.503.
(S-R)



* AS NOTED
APPROVED
CK 6/04
CITY OF SCOTTSDALE DATE

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MOUNTAIN

**MASTER
TENANT-SIGN
PACKAGE**

June 8, 2004

9825 East Bell Road, Scottsdale, Arizona



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SIGN CRITERIA

Introduction

The following is a comprehensive list of all sign criteria on the project. Included are standards to assure that the signage matches the theme of the project. Any disputes or discrepancies in the sign criteria or language therein shall be resolved by the Owners Association

I. Definitions

- A. Owner's Association: Aquila McDowell Mountain Owner's Association as defined in the Condominium Declaration
- B. Primary Signs - Building Signage which is visible from public streets (e.g. Bell Road, 98th Street, 100th Street)
- C. Secondary Signs - Building Signage only visible from the interior of the project (e.g. sidewalks, interior site drives)

II. Sign Locations

- A. See Section "B" for locations of Primary and Secondary signs on buildings

III. Building Addressing

- A. Building Addressing shall be installed by the developer and maintained by the Owner's Association.
- B. Address number shall conform to addresses issued by the City of Scottsdale records department.
- C. Building Address location, text style and size shall be per Section "C" and City of Scottsdale Fire Department Requirements.

IV. Unit Owner/Tenant Signage Guidelines

- A. Intent.
 - 1. The Building signage is intended to provide sufficient identification to each business in the project while still remaining true to the design theme of the project. Different sign sizes are acceptable on the same Building. Locations of allowable Primary and Secondary sign locations shall be as shown on B-1
- B. Single Building Owner/Tenants - applies to Unit Owner/Tenants who purchase/lease an entire building
 - 1. At no time shall there be more than (2) building signs per Unit Owner/Tenant on a building. If a building is later subdivided, the building signage must meet the requirements for multiple Unit Owner/Tenants.
 - 2. At no time shall there be more than (1) sign per tenant per building

- elevation (e.g. front, rear, left, right elevations)
3. Single Unit Owner/Tenant buildings shall have (1) Primary sign (where available) and (1) Secondary sign. Or (2) Secondary sign locations
 4. The Primary sign shall comply with Design 1 of Section C
 5. Each Secondary sign shall comply with Design 4 of Section C
 6. Owner/Tenants may choose to use a smaller sign area.
 7. Door Signage
 - A: Tenants may install door signage in addition to their allotted Primary and Secondary signage.
 - B: Door signage shall comply with Door signage designs in Section C
 - C: High-performance glass-applied vinyl graphics in the font type of "zapfhumnst" with a maximum height of 2" in upper and lower case, to display the name, address, emergency numbers and hours of operation may be applied to the storefront adjacent to the main entry door not to exceed 2 square feet of copy to accommodate the names of individual professionals within a singular or group practice. The layout shall be submitted and approved by the Developer/Landlord and the Owners Association's Architectural Review Committee
 - D: Door signage area shall not be included with Building Signage calculations
 8. Additional signage is available, for a fee, along Landscape Walls by Developer or Owner's Association. Signage area is limited
- C. Half-Building Unit Owner/Tenants - applies to Unit Owner/Tenants who purchase/lease half of a building.
1. At no time shall there be more than (2) building signs per Unit Owner/Tenant on a building. If a building is later subdivided, the building signage must meet the requirements for Quarter-Unit Owner/Tenants.
 2. Half-building Unit Owner/Tenants shall have (1) Primary sign (where available) and (1) Secondary sign. Or (2) Secondary sign locations
 3. The Primary sign shall comply with Design 2 of Section C
 4. Each Secondary sign shall comply with Design 5 of Section C
 5. Owner/Tenants may choose to use a smaller sign area.
 6. Door Signage
 - A: Tenants may install door signage in addition to their allotted Primary and Secondary signage.
 - B: Door signage shall comply with Door signage designs in Section C
 - C: High-performance glass-applied vinyl graphics in the font type of "zapfhumnst" with a maximum height of 2" in upper and lower case, to display the name, address, emergency numbers and hours of operation may be applied to the storefront adjacent to the main entry door not to exceed 2 square feet of copy to accommodate the names of individual professionals

within a singular or group practice. The layout shall be submitted and approved by the Developer/Landlord and the Owners Association's Architectural Review Committee

- D: Door signage area shall not be included with Building Signage calculations.
- 7. Additional signage is available, for a fee, along Landscape Walls by Developer or Owner's Association. Signage area is limited.
- D. Quarter-Building Unit Owner/Tenants - applies to Unit Owner/Tenants who purchase/lease a quarter of a building
 - 1. At no time shall there be more than (2) building signs per Unit Owner/Tenant on a building. If a building is later subdivided, the building signage must meet the requirements for Quarter-Unit Owner/Tenants.
 - 2. Half-building Unit Owner/Tenants shall have (1) Primary sign (where available) and (1) Secondary sign. Or (2) Secondary sign locations
 - 3. The Primary sign shall comply with Design 3 of Section C
 - 4. Each Secondary sign shall comply with Design 6 of Section C
 - 5. Door Signage
 - A: Tenants may install door signage in addition to their allotted Primary and Secondary signage.
 - B: Door signage shall comply with Door signage designs in Section C
 - C: High-performance glass-applied vinyl graphics in the font type of "zapfhumnst" with a maximum height of 2" in upper and lower case, to display the name, address, emergency numbers and hours of operation may be applied to the storefront adjacent to the main entry door not to exceed 2 square feet of copy to accommodate the names of individual professionals within a singular or group practice. The layout shall be submitted and approved by the Developer/Landlord and the Owners Association's Architectural Review Committee
 - D: Door signage area shall not be included with Building Signage calculations
 - 6. Additional signage is available, for a fee, along Landscape Walls by Developer or Owner's Association. Signage area is limited
 - 7. Quarter-Building Unit Owner/Tenants shall be provided with Directory Signs placed as shown in Section D thru F. See Section C for design.

V. Unit Owner/Tenant submittal requirements

A. Introduction

- 1. The submittal requirements for Unit Owner/Tenant has been created to establish and maintain guidelines consistent with signage policies for City of Scottsdale and the Developer/Landlord to assure standard conformance to the designs, sizes, materials and locations of exterior signage at Aquila McDowell Mountain.

B. Submittal and Compliance

1. All signage proposed by future Unit Owner/Tenants and parcel facilities shall be required to be included with architectural submittals made to the Developer/Landlord and the Owners Association's Architectural Review Committee.

Submittals shall include four (4) copies of scaled color elevation drawings showing the size of lettering, size of sign, construction and installation methods, illumination details, color schemes and placement locations of signage in relation to each elevation. Provide calculations showing allowable square footage and letter sizes. Door signage must also be submitted, but does not count towards square footage limits for signage.

The Developer/Landlord and the Architectural Review Committee, appointed by the Owners Association shall review the drawings of the proposed signage and return marked "Approved", "Approved as Noted", or "Revise and Resubmit".

- a). "Approved" drawings shall permit the Unit Owner/Tenant to proceed with sign fabrication and installation in accordance with the drawings.
- b). "Approved as Noted" drawings shall permit the Unit Owner/Tenant to proceed with sign fabrication and installation, provided the modifications noted are incorporated into the design.
- c). "Revise and Resubmit" drawings shall be returned to the Unit Owner/Tenant with comments. These drawings shall be revised and resubmitted for Developer/Landlord approval within forty five (45) days of the return to the Unit Owner/Tenant.
- d). If a unit is subdivided, either by legal change in the plat or by a portion of the space being leased to a separate individual, a signage submittal for the new tenant shall include a copy of the signage for the existing tenant, if applicable – Both the Unit Owner/Tenant or newly subdivided Unit Owner/Tenant shall comply with the requirements outlined in Section IV, based on Square footage.

C. General Requirements

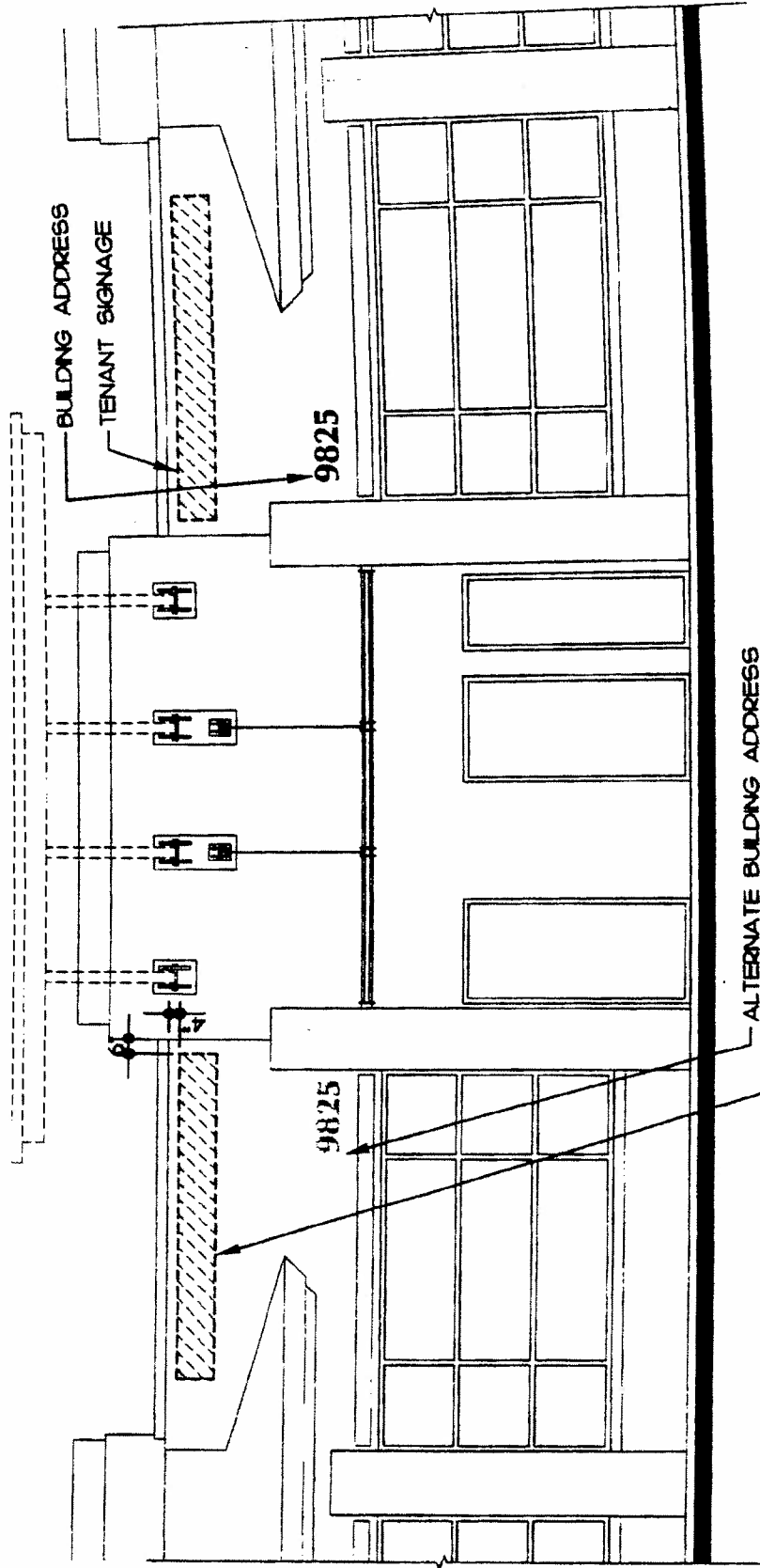
1. Unit Owner shall be responsible for the fulfillment of all requirements and specifications by themselves and their tenants
2. All signage shall be constructed and installed at the Unit Owner/Tenant's expense.
3. Signs installed without written approval by the Developer/Landlord shall be subject to removal and proper re-installation at the Unit Owner/Tenant's expense. Damages may be assessed to cover the cost of repairs to the building or removal of signage resulting from

- unapproved installation.
4. Unit Owner/Tenant and his/her sign contractor shall repair any damage caused to any property as a result of their installation
 5. Upon sale of unit or termination of the lease Unit Owner/Tenant shall remove his/her sign and return the sign wall surface to it's original condition, repairing all penetrations in a water tight fashion and repainting to match adjacent surfaces.
 6. No labels shall be permitted on the exposed surface of the signs, except those required by local ordinance. Required labels to be placed in an inconspicuous location.
 7. Unit Owner/Tenant or his/her contractor shall secure all necessary City of Scottsdale sign permits or variances prior to fabrication and installation of signage.
 8. The Developer/Landlord/Owner's Association reserves the right to disapprove any sign which deteriorates or is damaged after installation for any reason. If the Developer/Landlord/Owner's Association so informs the Unit Owner/Tenant of such disapproval, the Unit Owner/Tenant shall promptly repair or remove such sign.
 9. The Unit Owner/Tenant is responsible for providing electrical power to the location of the sign, as well as time clocks at Unit's breaker boxes. Signs shall go on and off at a time schedule designated by the Developer/Landlord/Owner's Association and Project Manager.
 10. In no case shall the Unit Owner/Tenant or his/her contractor penetrate the roof of the building for any reason. Access shall be provided by the Developer/Landlord/Owner's Association.
 11. All required penetrations of the designated area for signage shall be neatly sealed in a watertight condition.
 12. All window graphics and displays must be presented in a clearly illustrated manner and shall be subject to approval prior to fabrication. Banners, Soap or Water Color hand painted graphics are prohibited. Maximum area of coverage not to exceed 25% of total window area.
 13. Any and all alterations to existing unit signage shall be submitted to the Owner's Association for review.
 14. All wall-mounted signage shall be boss & stud mounted
 15. All wall-mounted signage shall be Aluminum painted as noted in Section "C"
 16. Unit Owners who lease all or a portion of their space shall be responsible for the signage of their tenant.

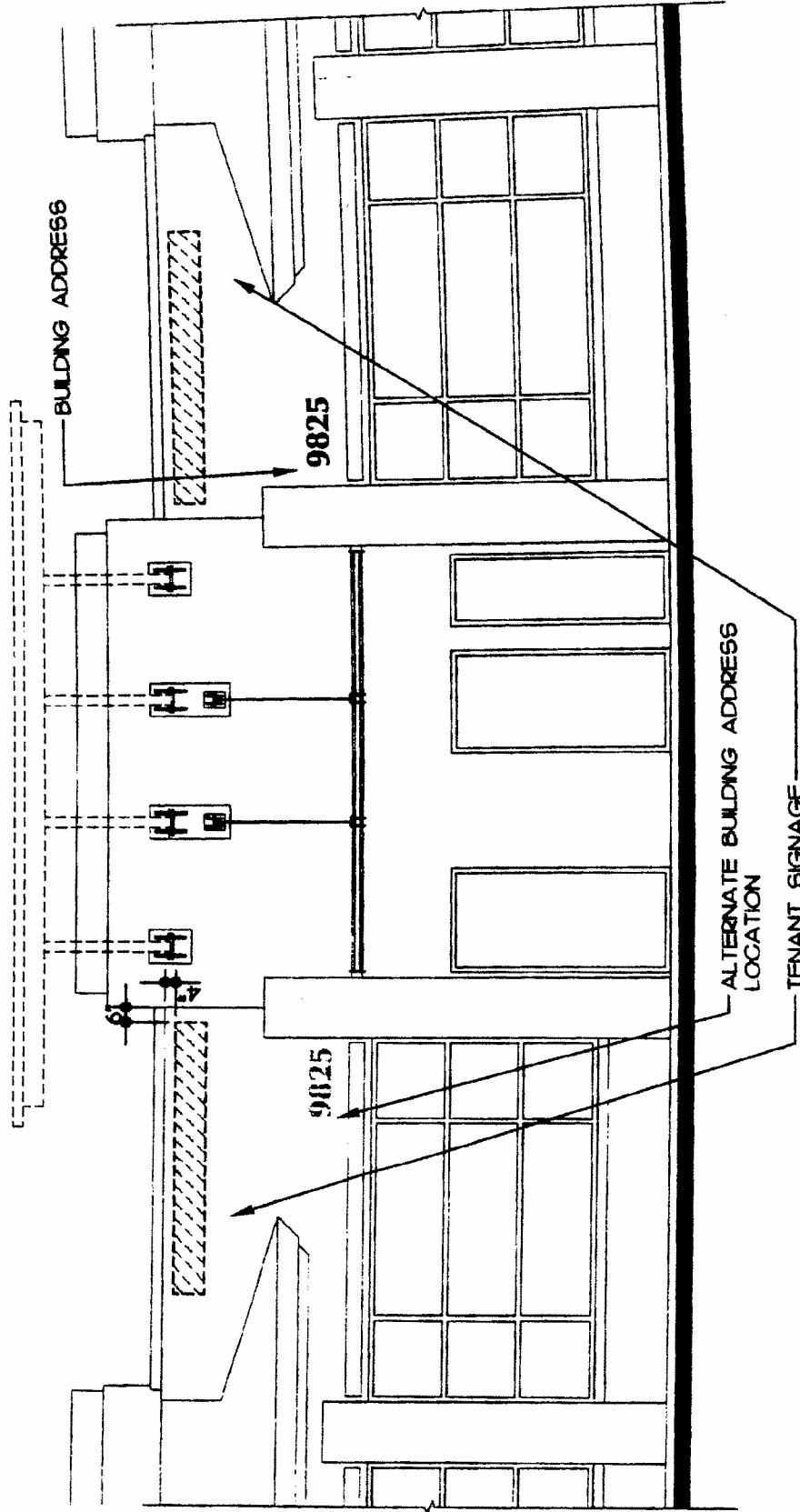
D. General Restrictions

1. Flashing, moving or audible signs shall not be permitted
2. Except for Buildings with Street Frontage (Bell, 98th Street, 100th Street) All Unit Owner/Tenant signage shall correspond with the owned or leased area of the building and shall be placed on the elevation within said area of lease or ownership.
3. Freestanding signs shall not be permitted except as already approved by this plan.

4. No electrical lighting is allowed at Unit Owner/Tenant signage
5. No exposed conduit tubing, or transformers shall be permitted.
6. No exposed neon lighting shall be used on signs, symbols or decorative elements without prior written approval.
7. The copy content of the Unit Owner/Tenant's signage shall not include the product sold, except as part of the Unit Owner/Tenant's trade name.
8. Unit Owner/Tenant's sign contractors shall repair any damage caused by the said contractor's work.
9. Unit Owner/Tenant shall be liable for the operations of their sign contractor.
10. All bolts, fasteners, clips, etc., shall be painted out to match the sign mounting surface.
11. Unit Owner/Tenant shall not hang or display any promotional banners in the common area or on the exterior walls of Unit Owner/Tenant's leased space.



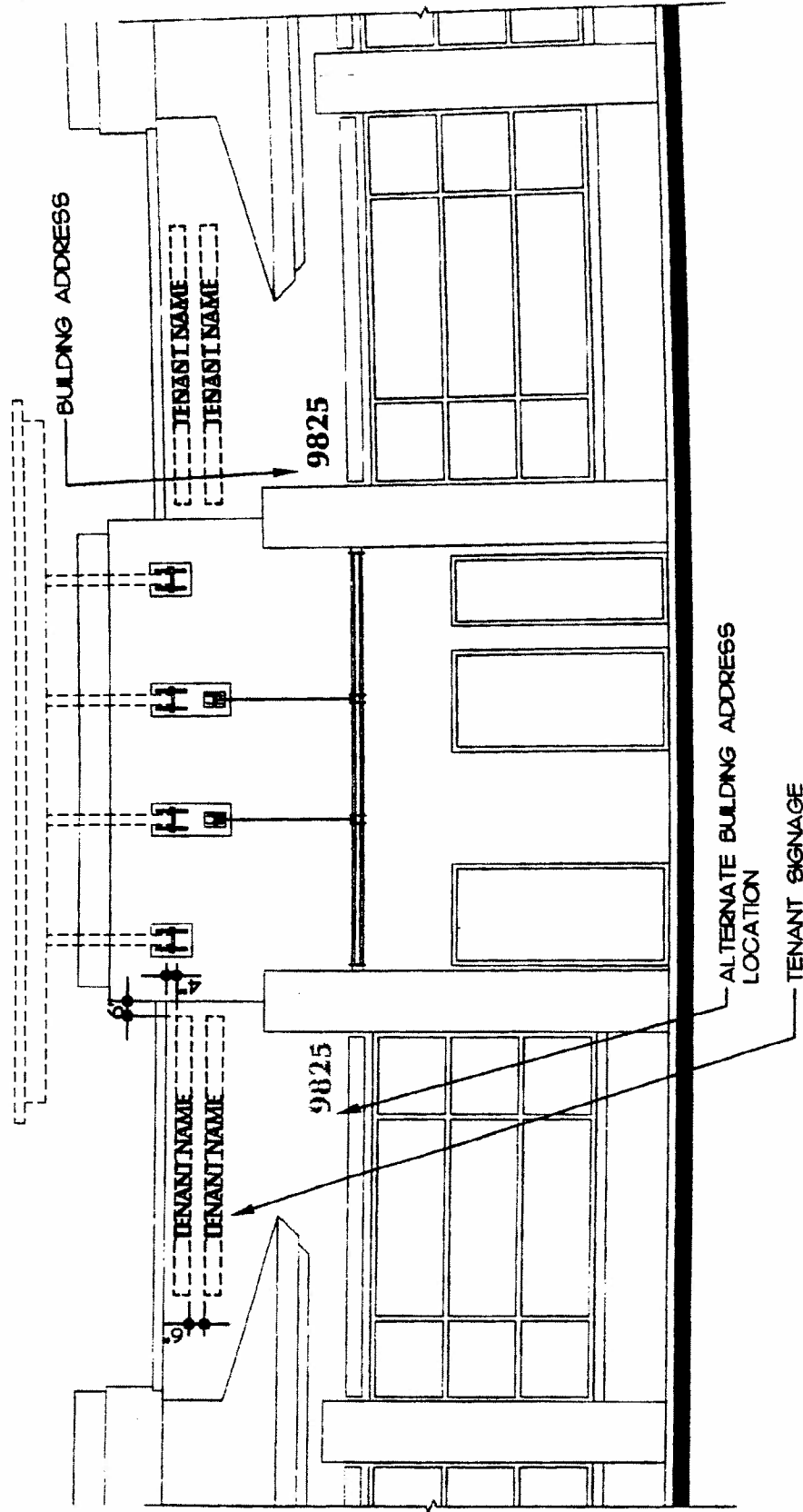
**BUILDING TYPE 'A' (PRIMARY SIGNAGE)
REAR ELEVATION (SINGLE BUILDING TENANT)**



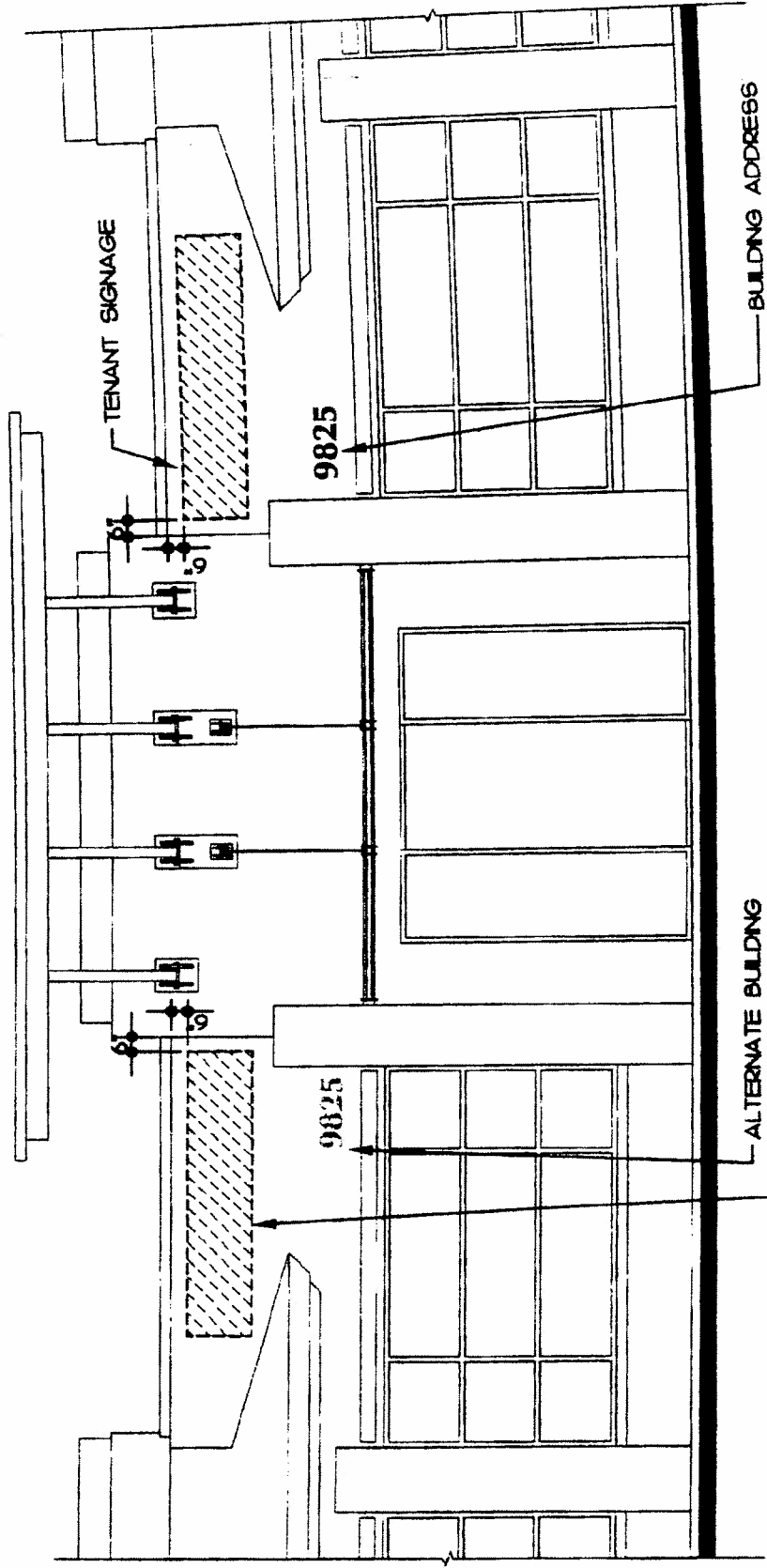
**BUILDING TYPE 'A' (PRIMARY SIGNAGE)
REAR ELEVATION (HALF - BUILDING TENANT)**



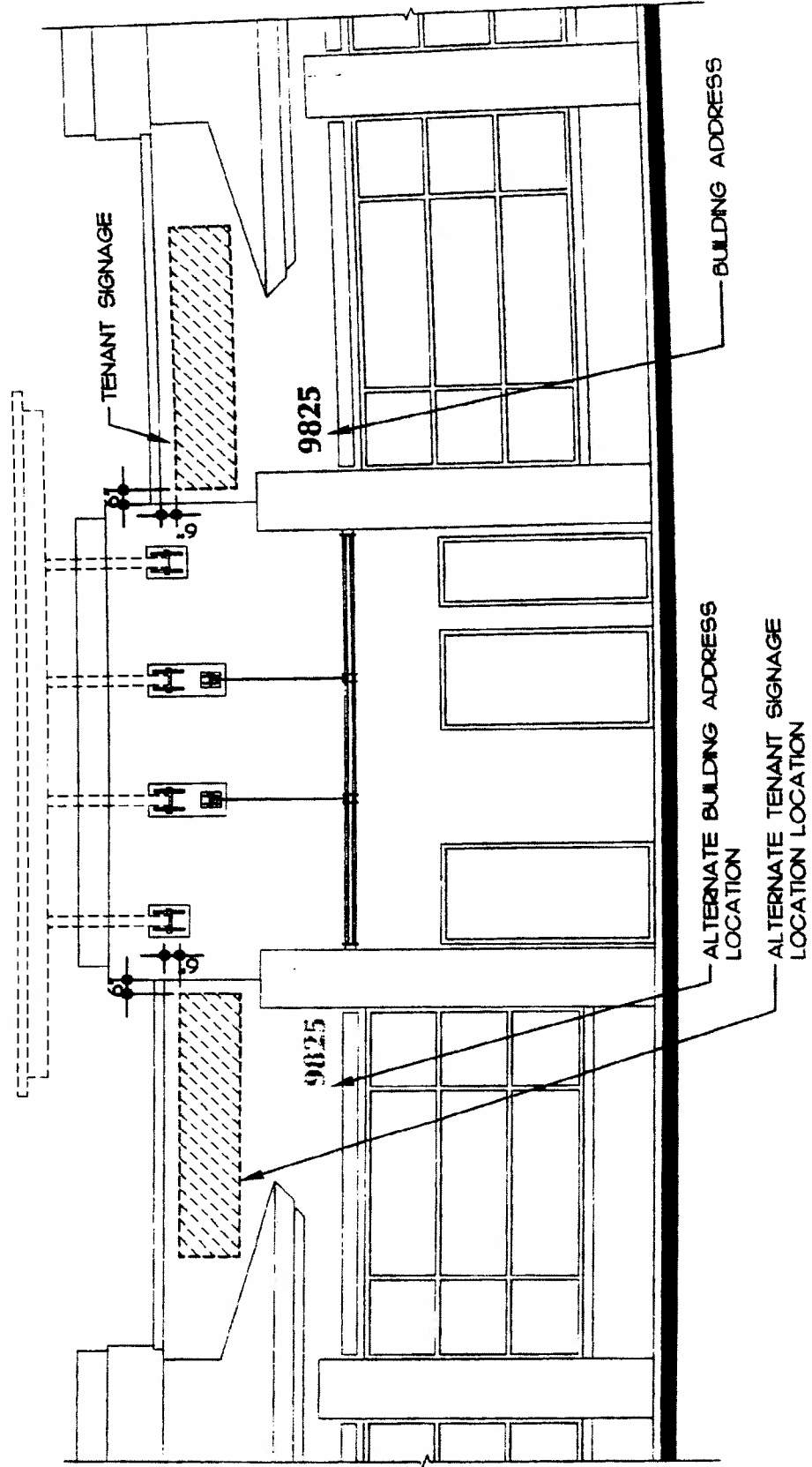
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MOUNTAINS



**BUILDING TYPE 'A' (PRIMARY SIGNAGE)
REAR ELEVATION (QUARTER - BUILDING TENANT)**



**BUILDING TYPE 'A' (SECONDARY SIGNAGE)
FRONT ELEVATION (SINGLE TENANT)**

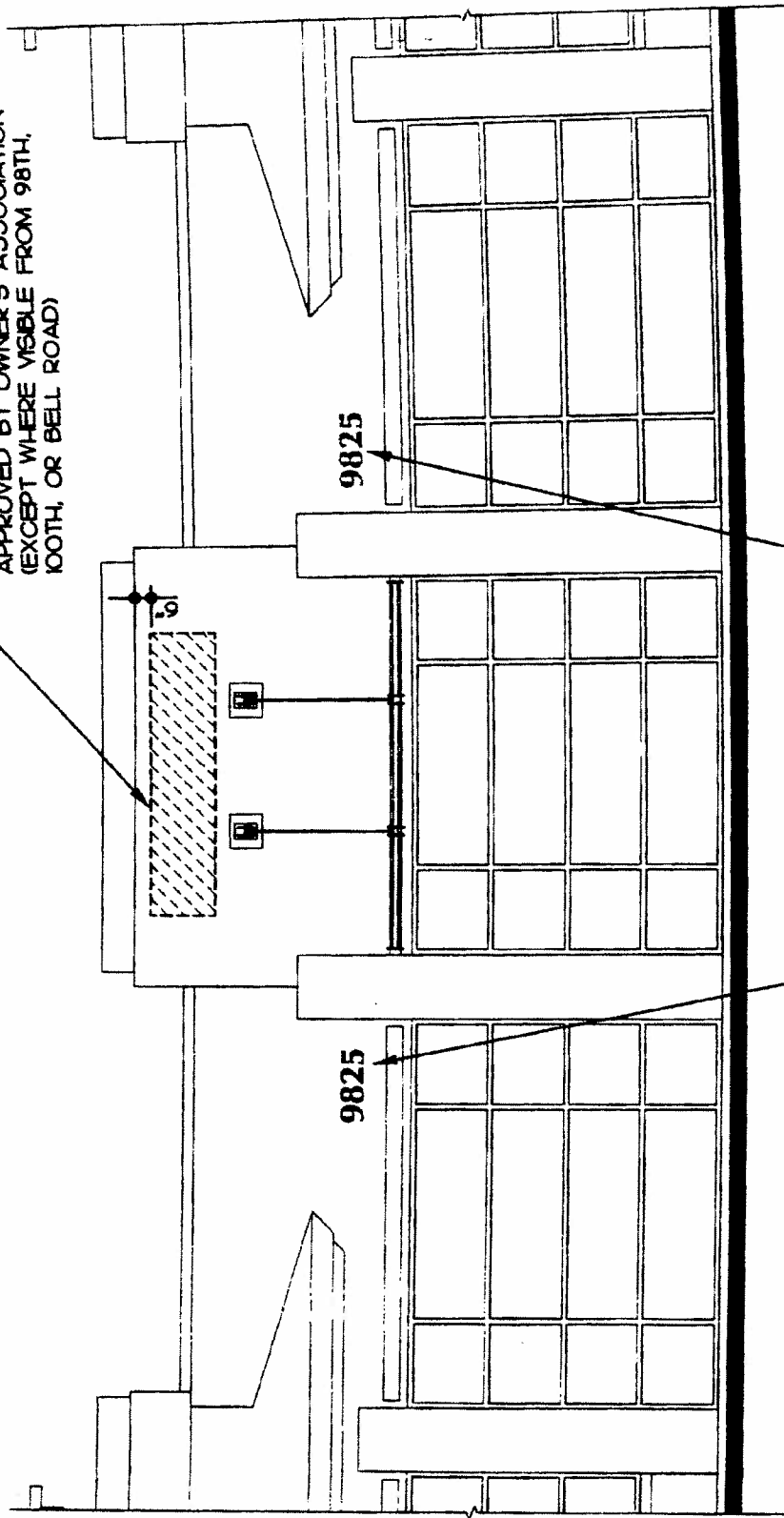


**BUILDING TYPE 'A' (SECONDARY SIGNAGE)
REAR ELEVATION (SINGLE TENANT)**

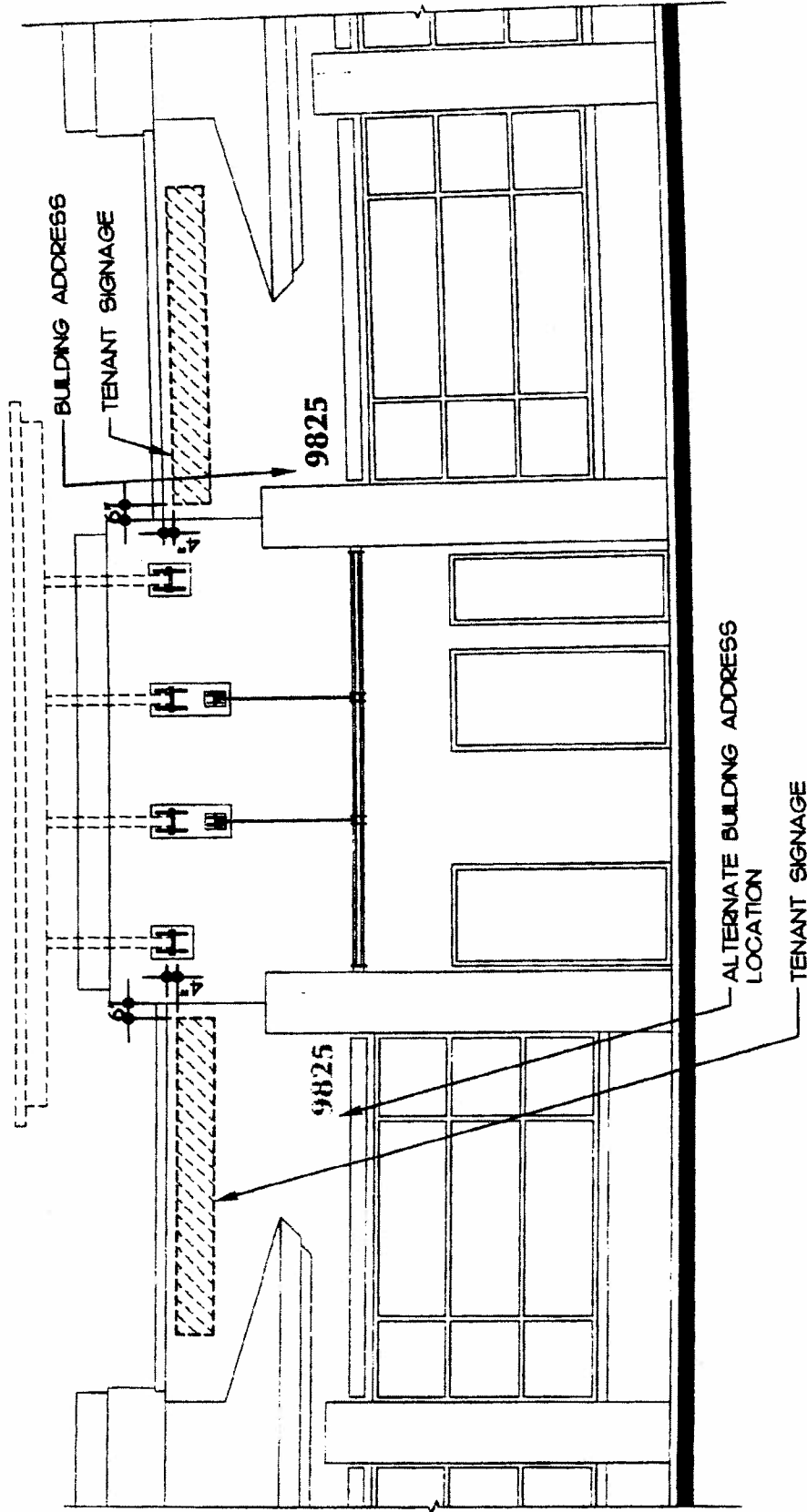


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TENANT SIGNAGE ON BOTH SIDES OF
BUILDING IF CHOSEN BY OWNER AND
APPROVED BY OWNER'S ASSOCIATION
(EXCEPT WHERE VISIBLE FROM 98TH,
100TH, OR BELL ROAD)



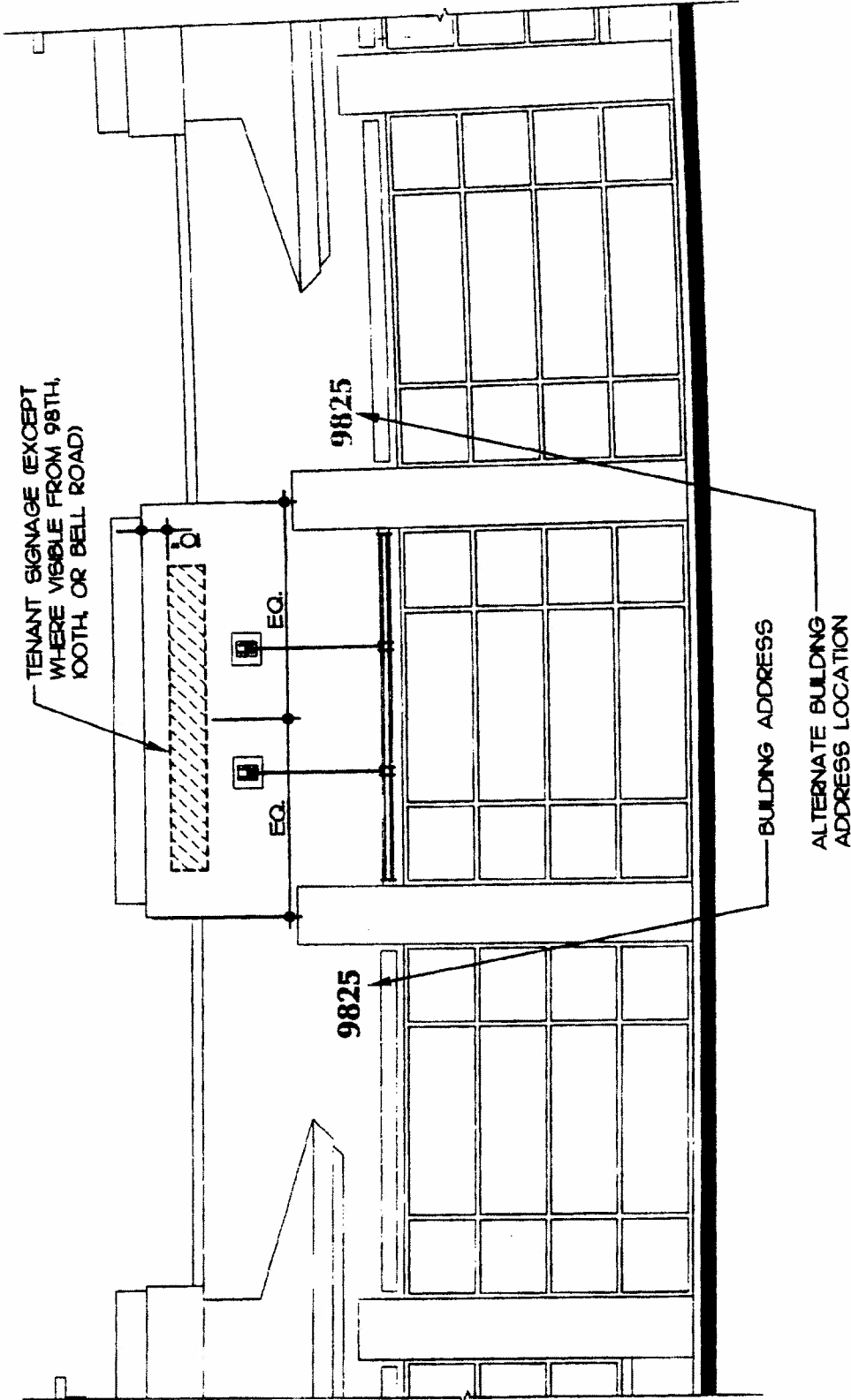
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SIDE ELEVATION (SINGLE TENANT)**



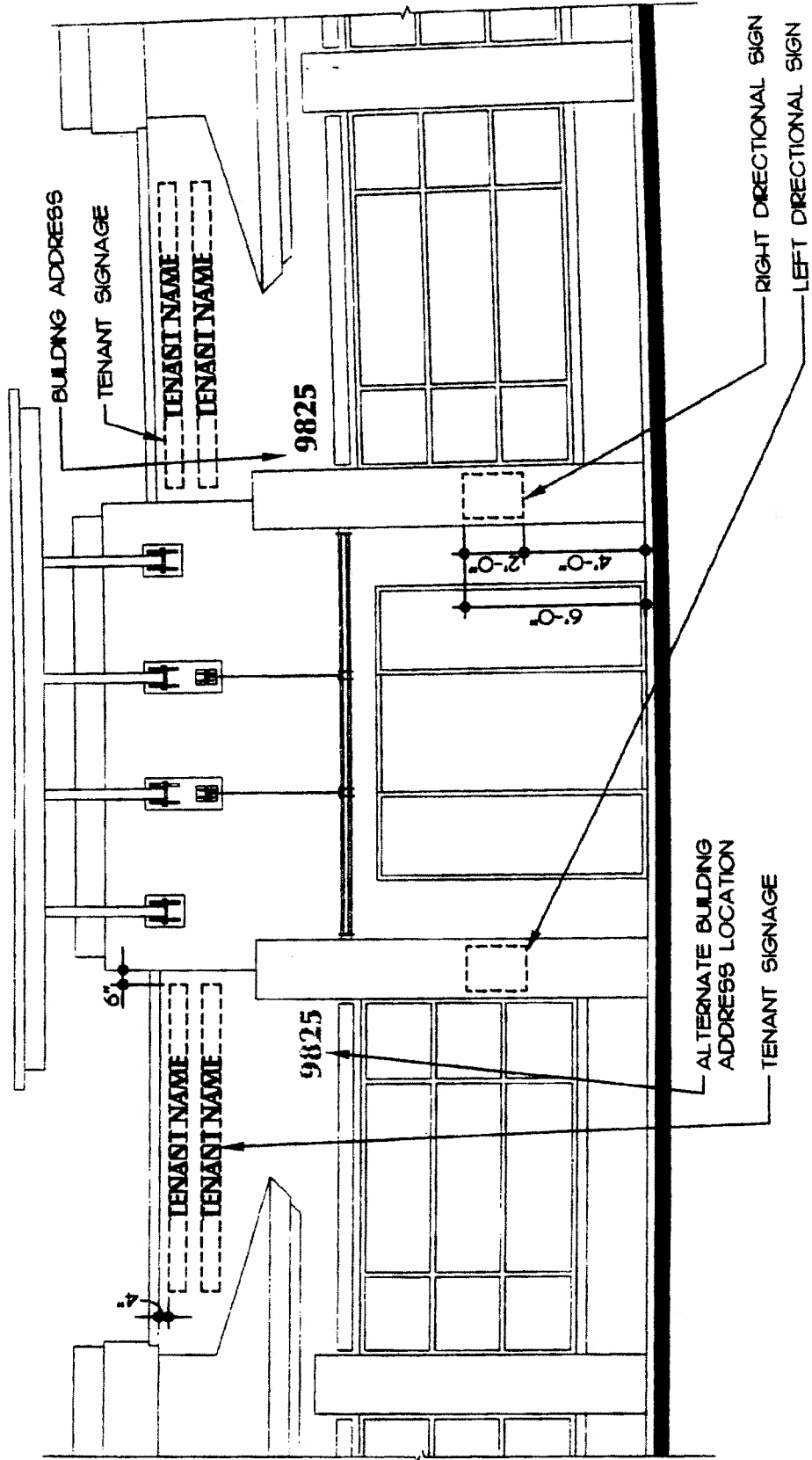
**BUILDING TYPE 'A' (SECONDARY SIGNAGE)
REAR ELEVATION (HALF-BUILDING TENANT)**



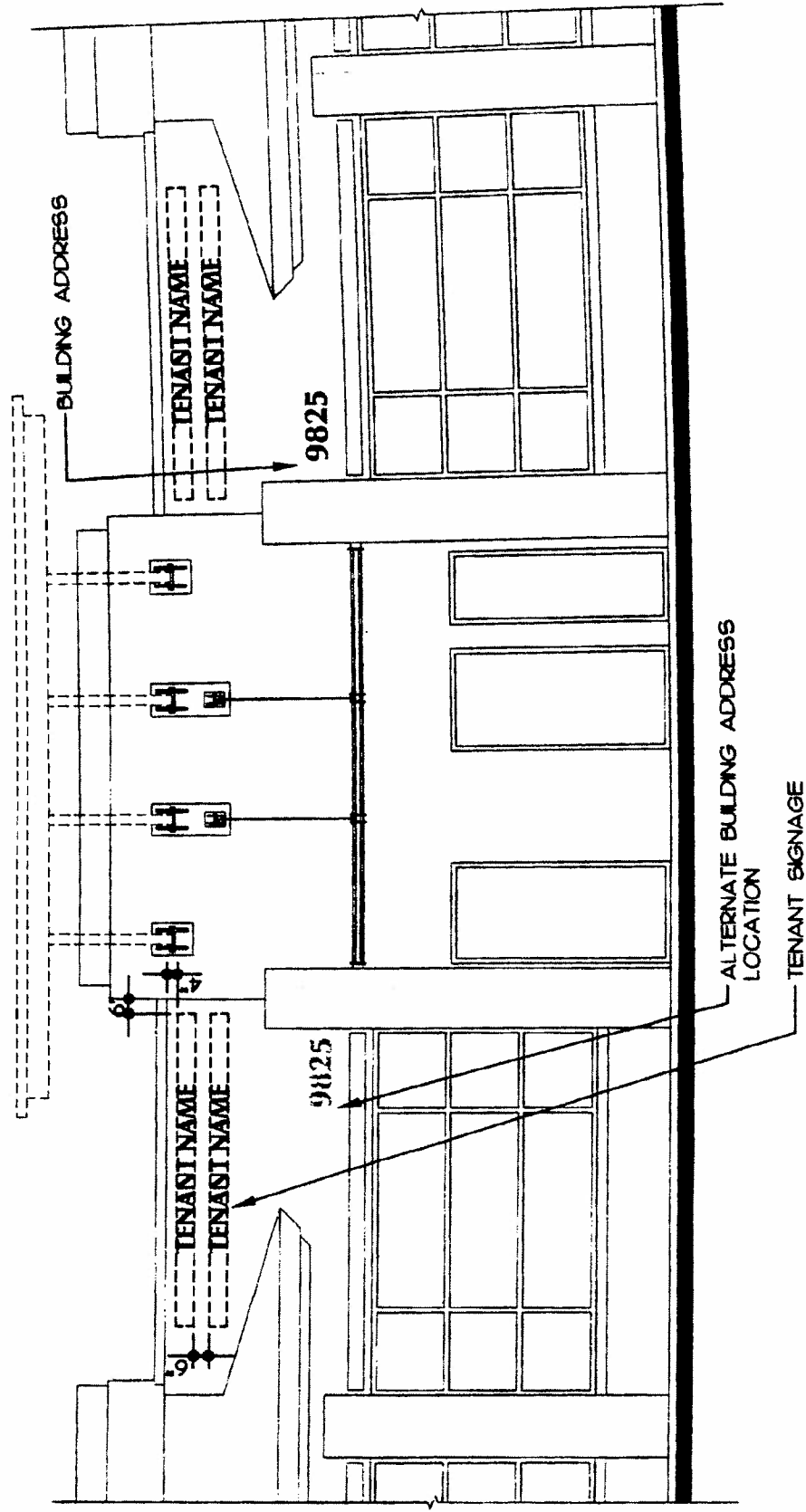
MIDWEST
MOUNTAIN



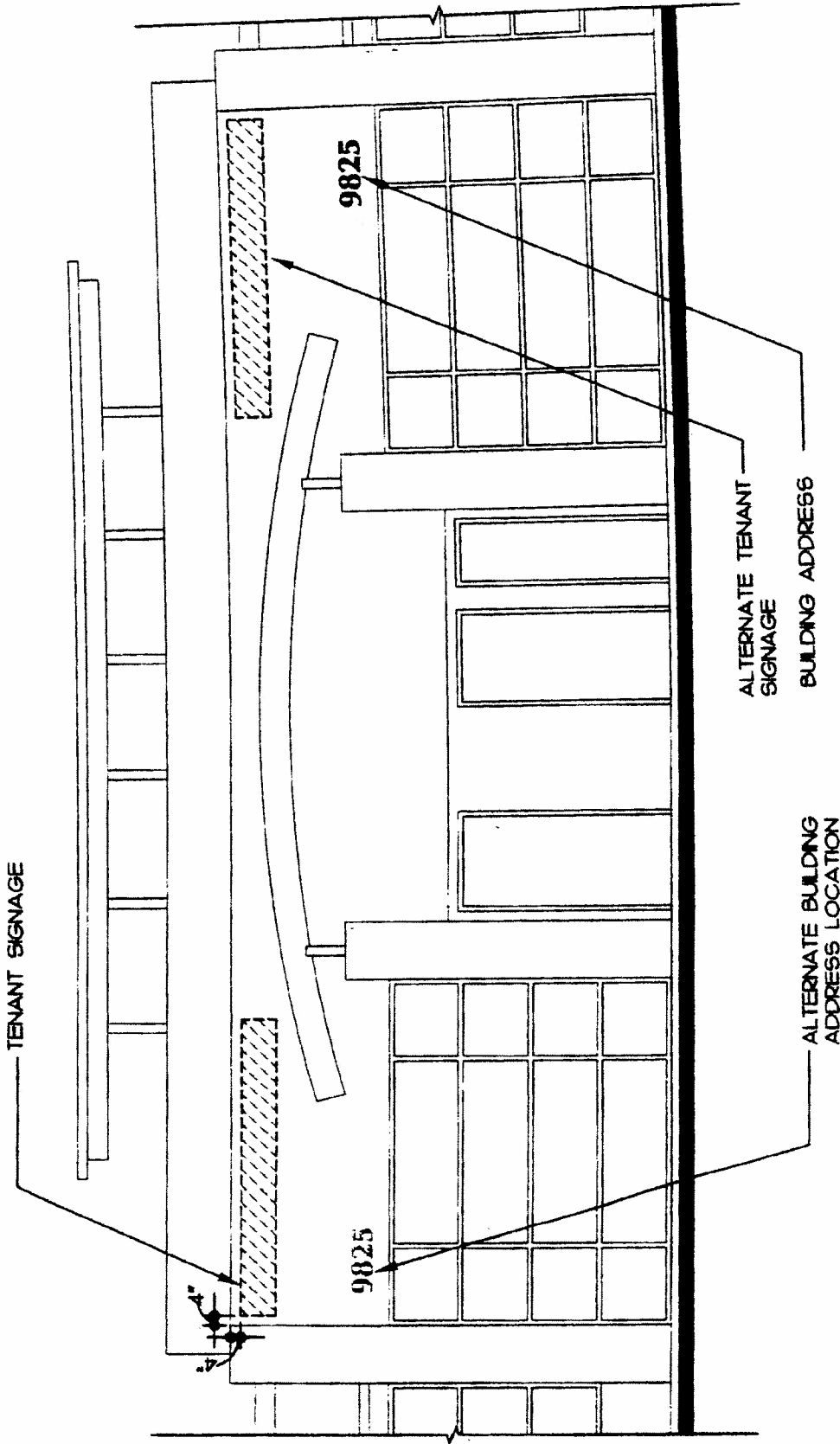
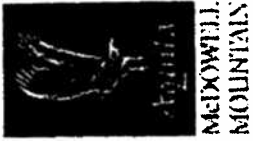
**BUILDING TYPE 'A' (SECONDARY SIGNAGE)
SIDE ELEVATION (HALF-BUILDING TENANT)**



**BUILDING TYPE 'A' (SECONDARY SIGNAGE)
FRONT ELEVATION (QUARTER-BUILDING TENANT)**



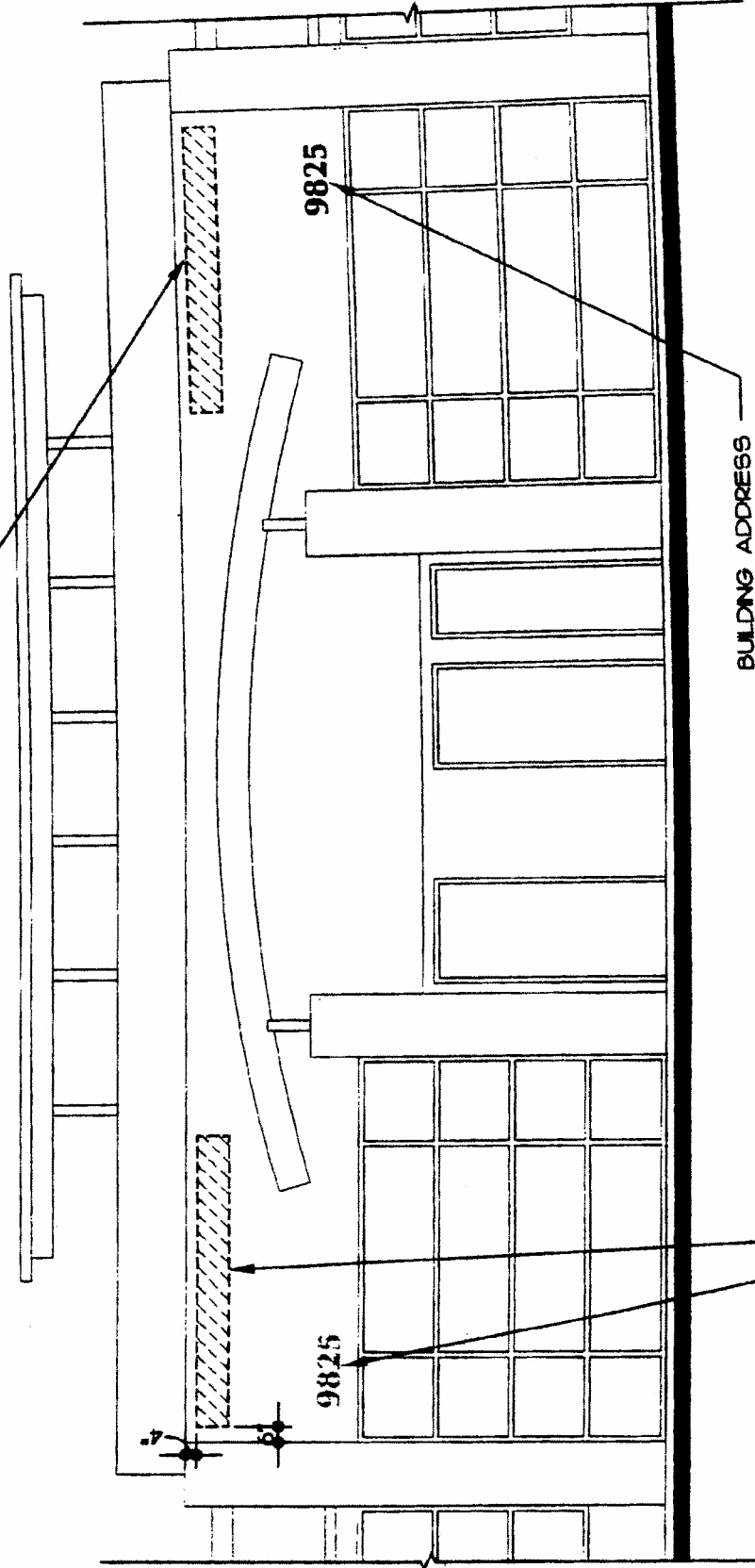
**BUILDING TYPE 'A' (SECONDARY SIGNAGE)
REAR ELEVATION (QUARTER-BUILDING TENANT)**



**BUILDING TYPE 'B' (PRIMARY SIGNAGE)
REAR ELEVATION (SINGLE TENANT)**



TENANT SIGNAGE



BUILDING ADDRESS

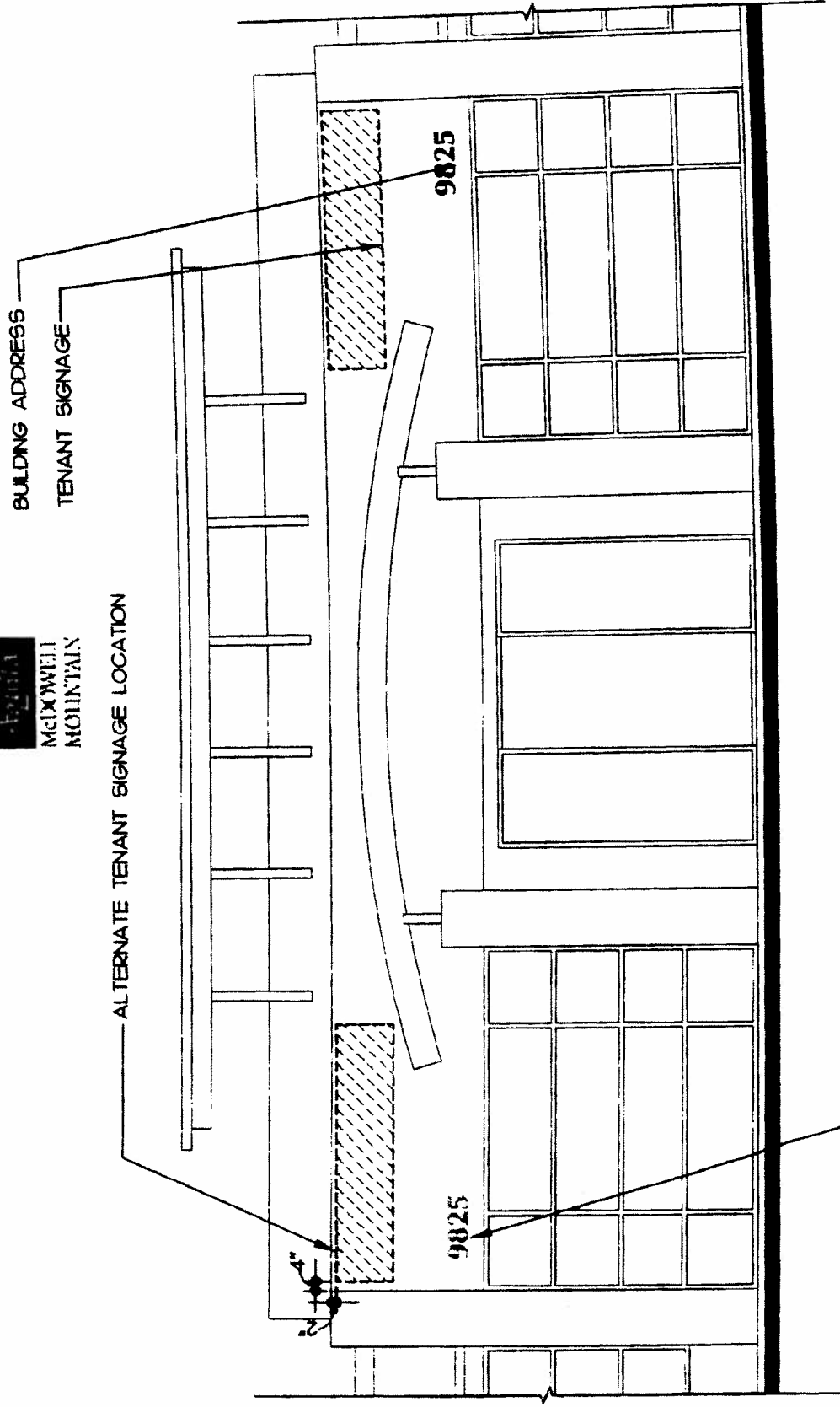
TENANT SIGNAGE

ALTERNATE BUILDING ADDRESS LOCATION

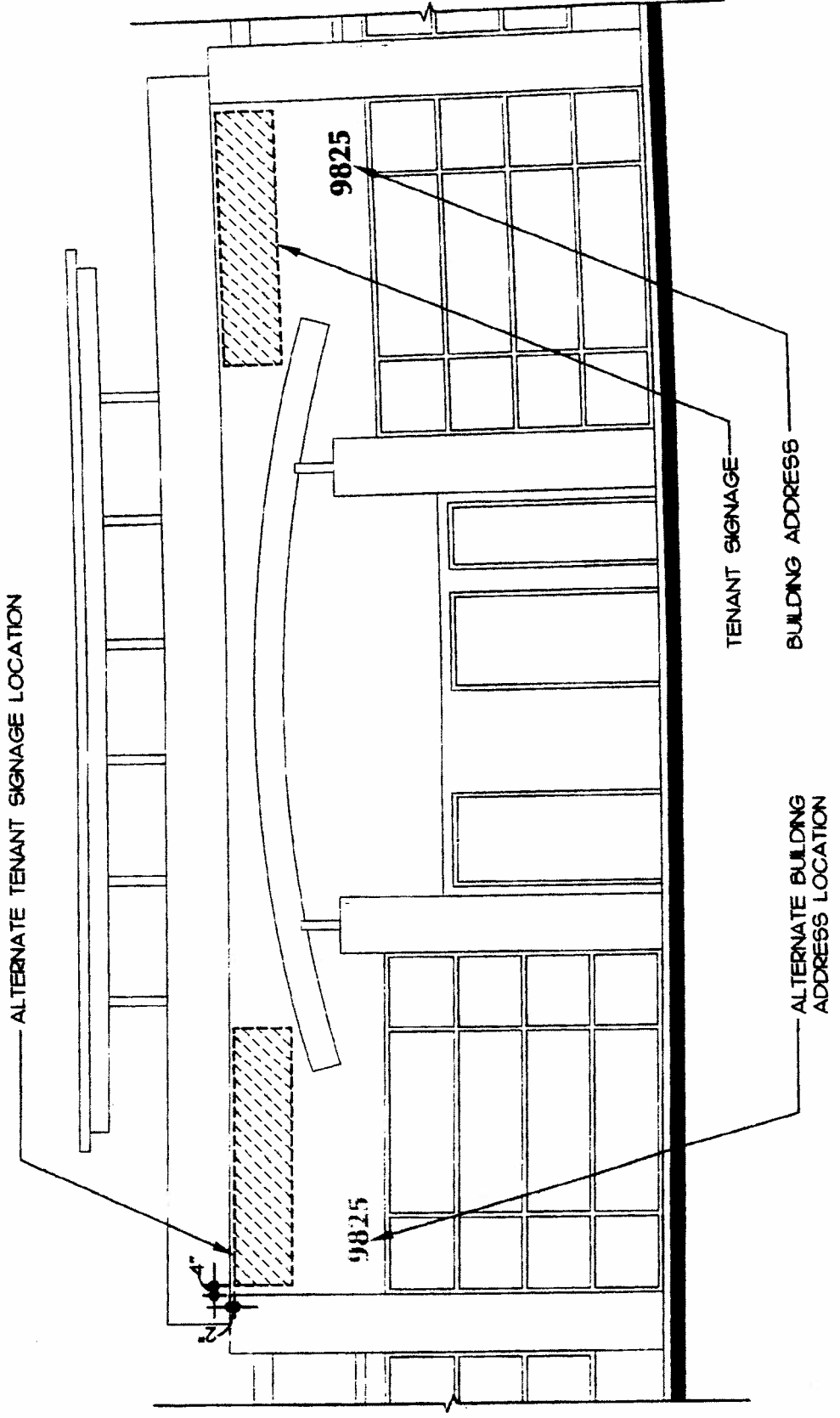
**BUILDING TYPE 'B' (PRIMARY SIGNAGE)
REAR ELEVATION (HALF - BUILDING TENANT)**



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**BUILDING TYPE 'B' (SECONDARY SIGNAGE)
FRONT ELEVATION (SINGLE TENANT)**



**BUILDING TYPE 'B' (SECONDARY SIGNAGE)
REAR ELEVATION (SINGLE TENANT)**

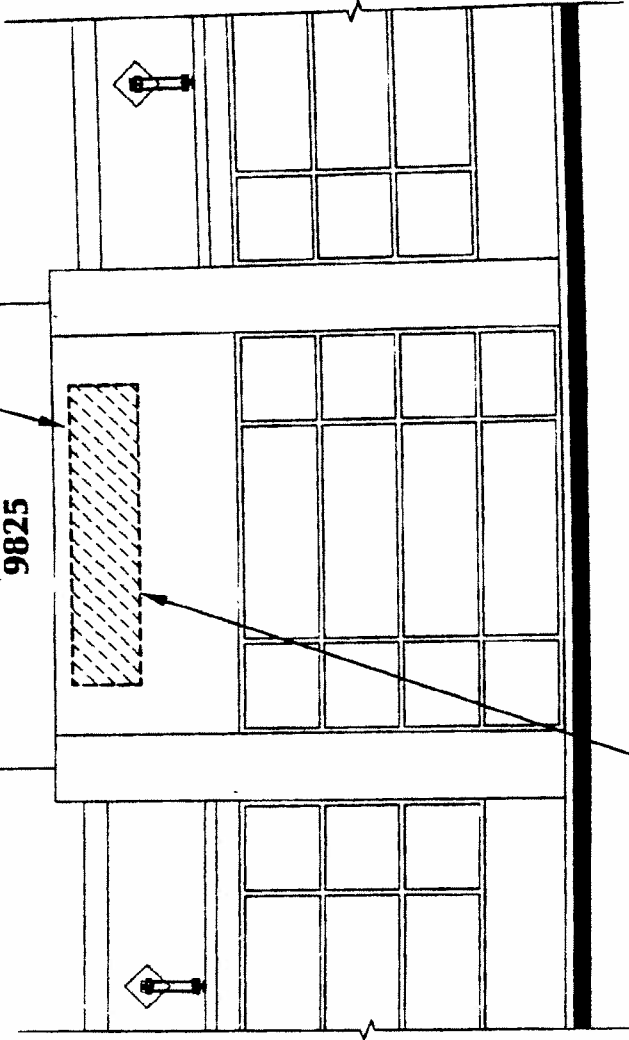


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BUILDING ADDRESS

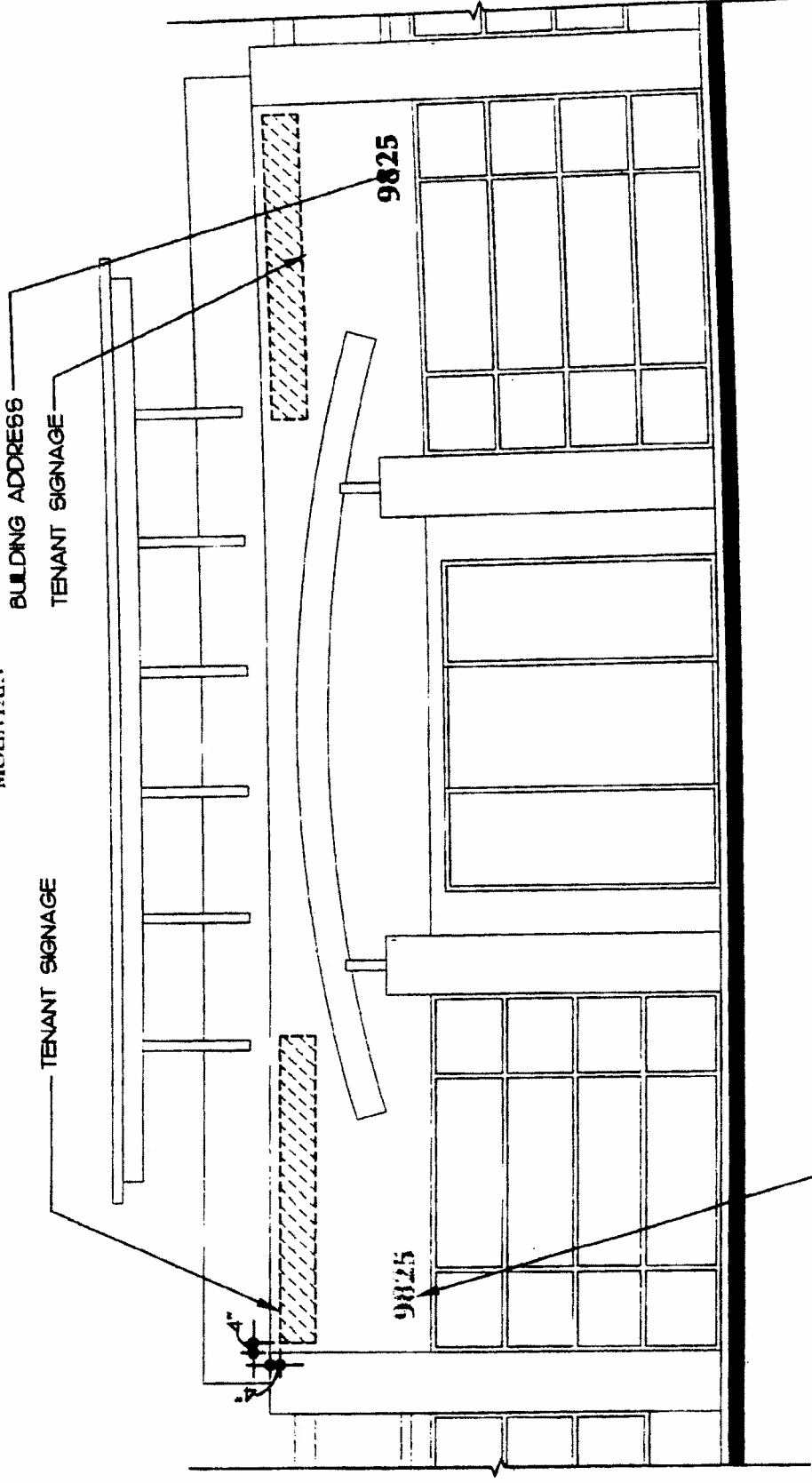
TENANT SIGNAGE (EXCEPT
WHERE VISIBLE FROM 98TH,
100TH, OR BELL ROAD)

9825

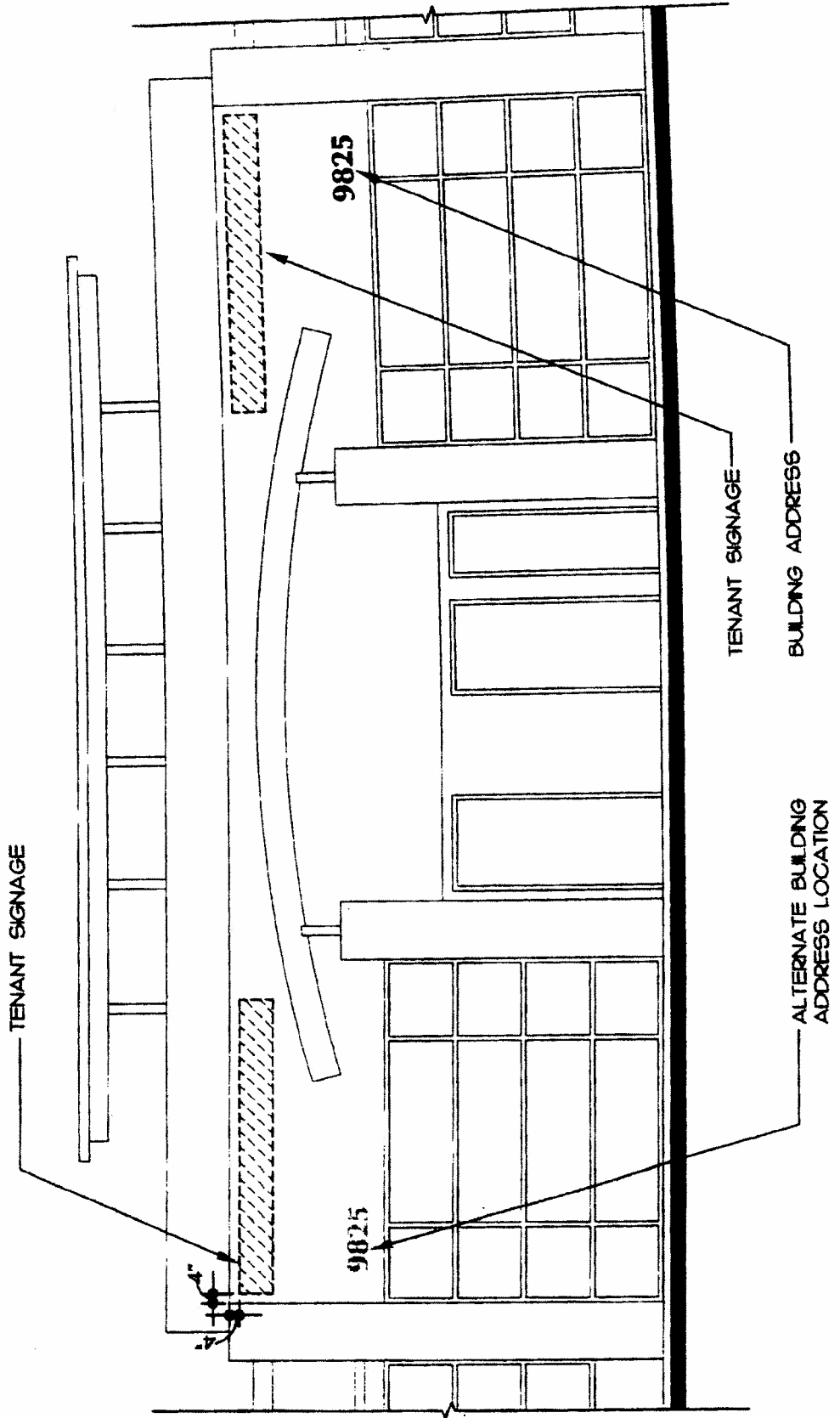


TENANT SIGNAGE

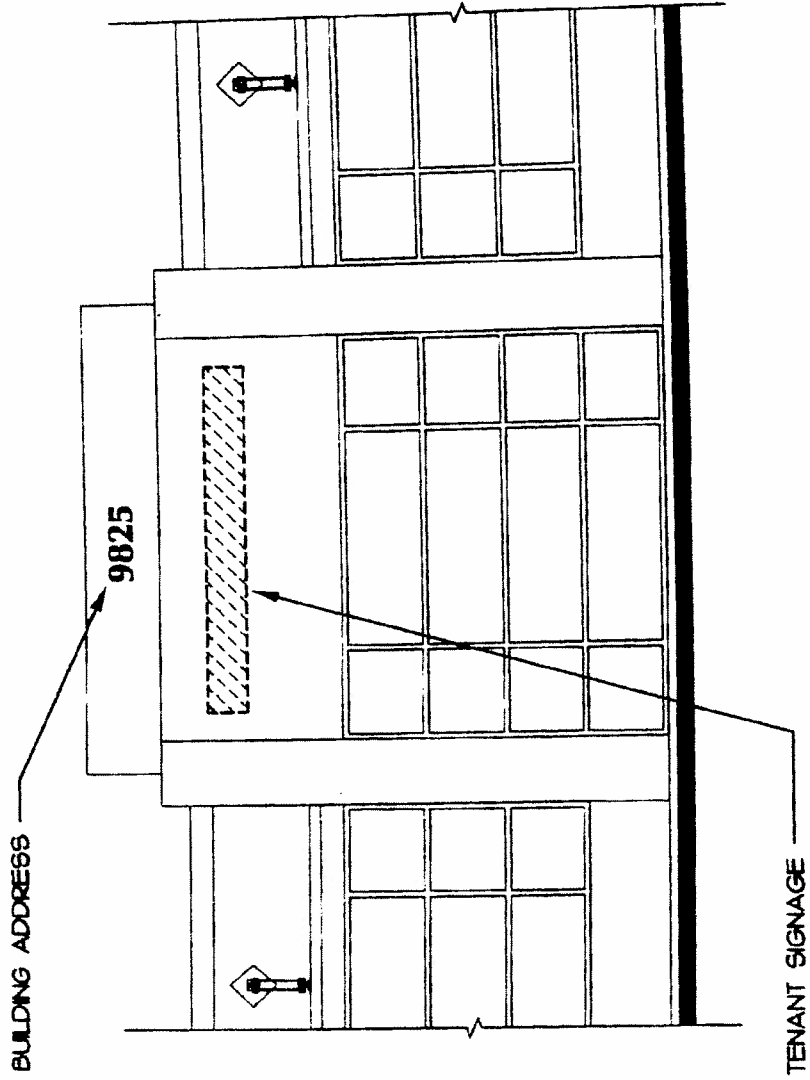
**BUILDING TYPE 'B' (SECONDARY SIGNAGE)
REAR ELEVATION (SINGLE TENANT)**



**BUILDING TYPE 'B' (SECONDARY SIGNAGE)
FRONT ELEVATION (HALF - BUILDING TENANT)**



**BUILDING TYPE 'B' (SECONDARY SIGNAGE)
REAR ELEVATION (HALF - BUILDING TENANT)**

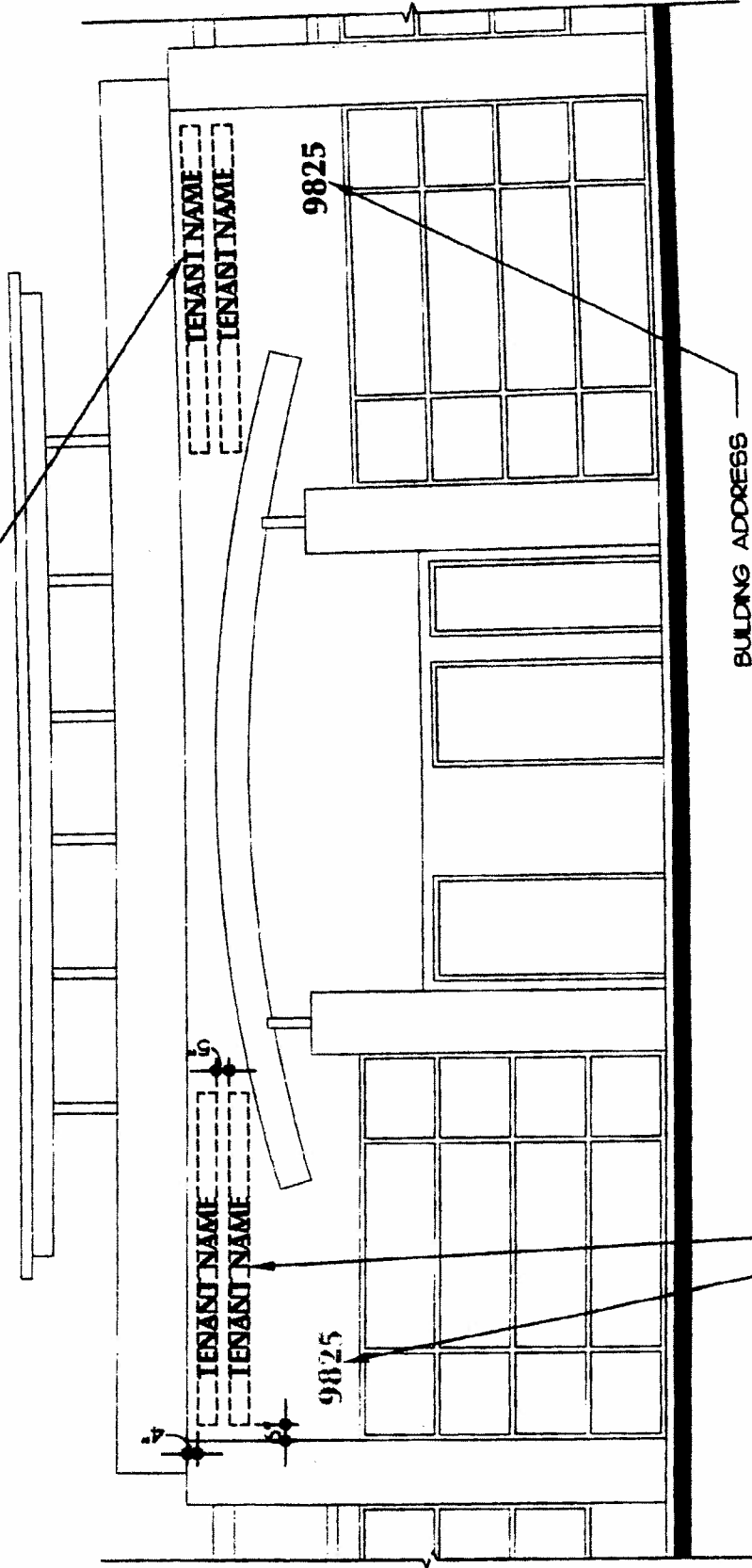


**BUILDING TYPE 'B' (SECONDARY SIGNAGE)
REAR ELEVATION (HALF - BUILDING TENANT)**



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TENANT SIGNAGE (RIGHT JUSTIFIED)



BUILDING ADDRESS

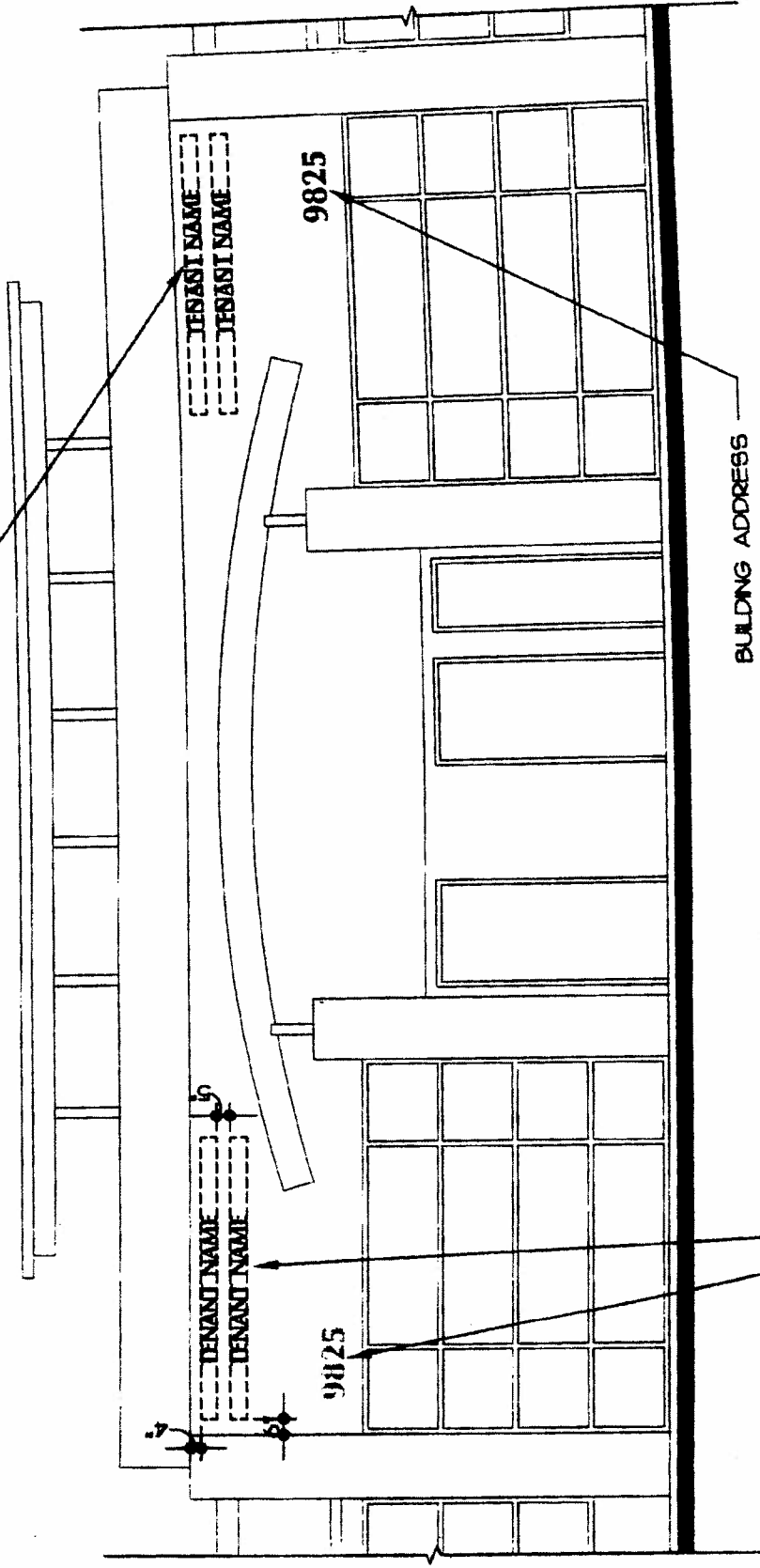
TENANT SIGNAGE (LEFT
JUSTIFIED)

ALTERNATE BUILDING ADDRESS LOCATION

BUILDING TYPE 'B' (SECONDARY SIGNAGE) REAR ELEVATION (QUARTER - BUILDING TENANT)



TENANT SIGNAGE (RIGHT JUSTIFIED)



BUILDING ADDRESS

TENANT SIGNAGE (LEFT JUSTIFIED)

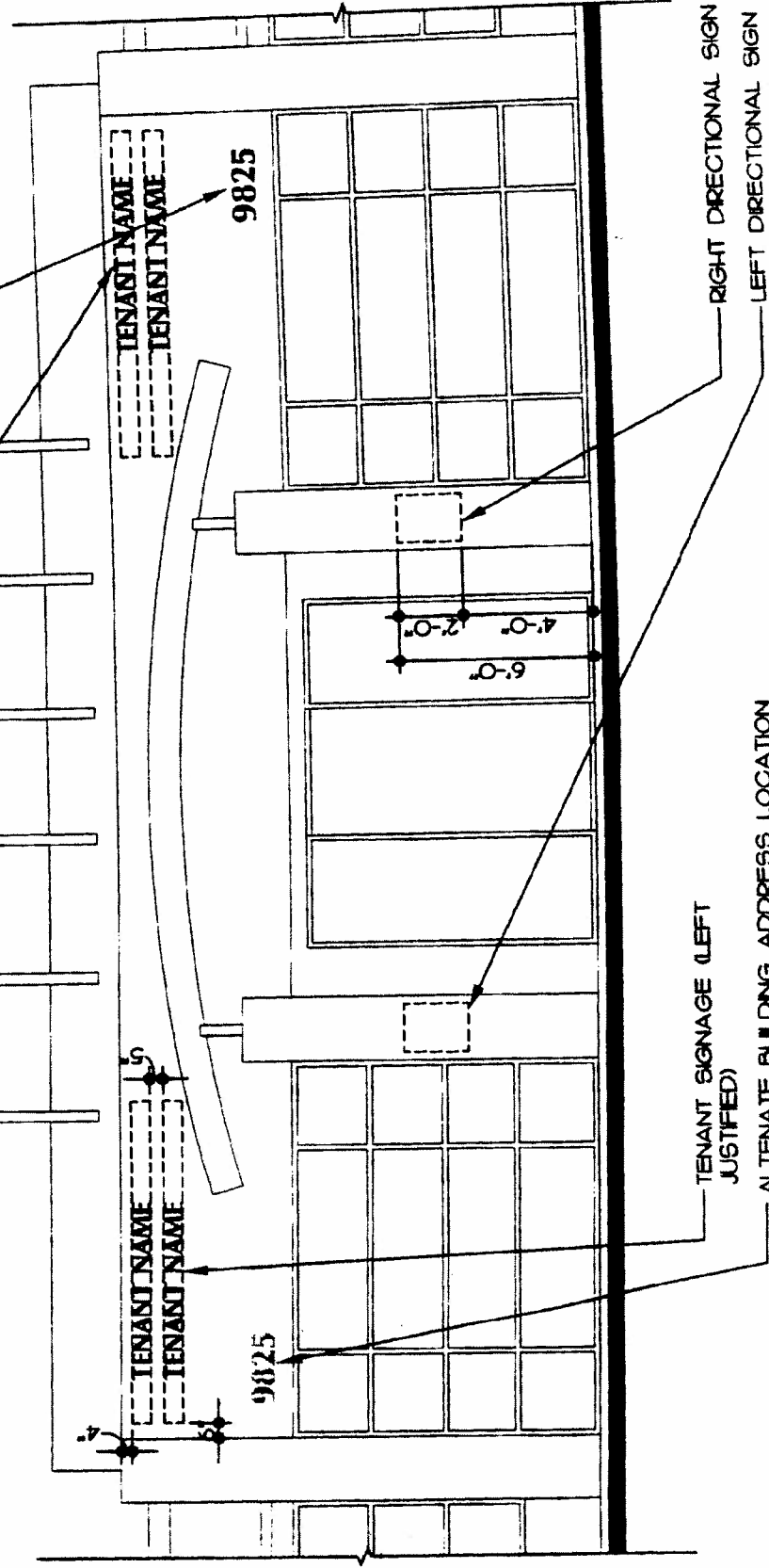
ALTERNATE BUILDING ADDRESS LOCATION

**BUILDING TYPE 'B' (PRIMARY SIGNAGE)
REAR ELEVATION (QUARTER - BUILDING TENANT)**



BUILDING ADDRESS

TENANT SIGNAGE (RIGHT JUSTIFIED)

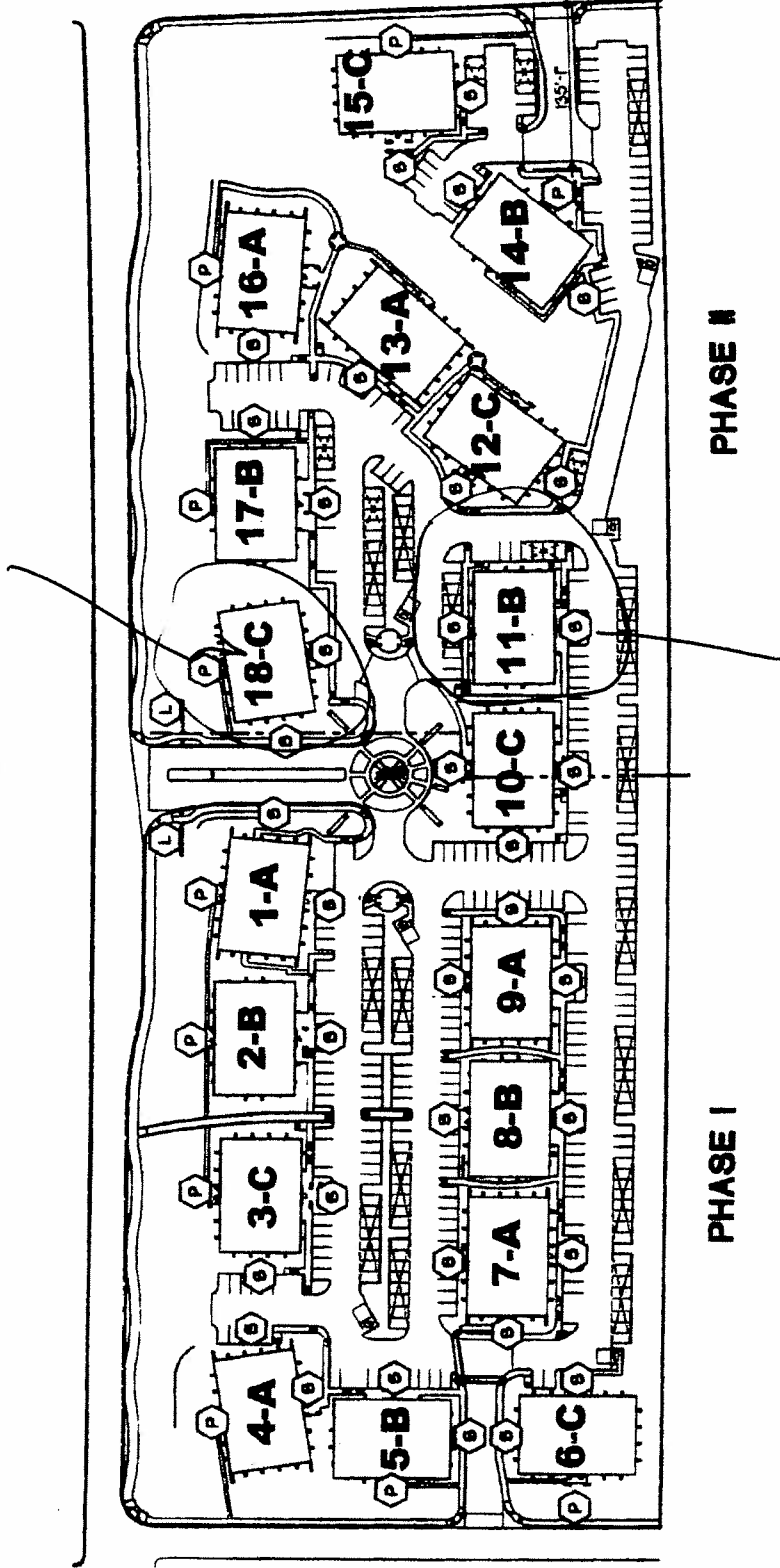


**BUILDING TYPE 'B' (SECONDARY SIGNAGE)
FRONT ELEVATION (QUARTER - BUILDING TENANT)**



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Handwritten note: 8' 1/2" thick

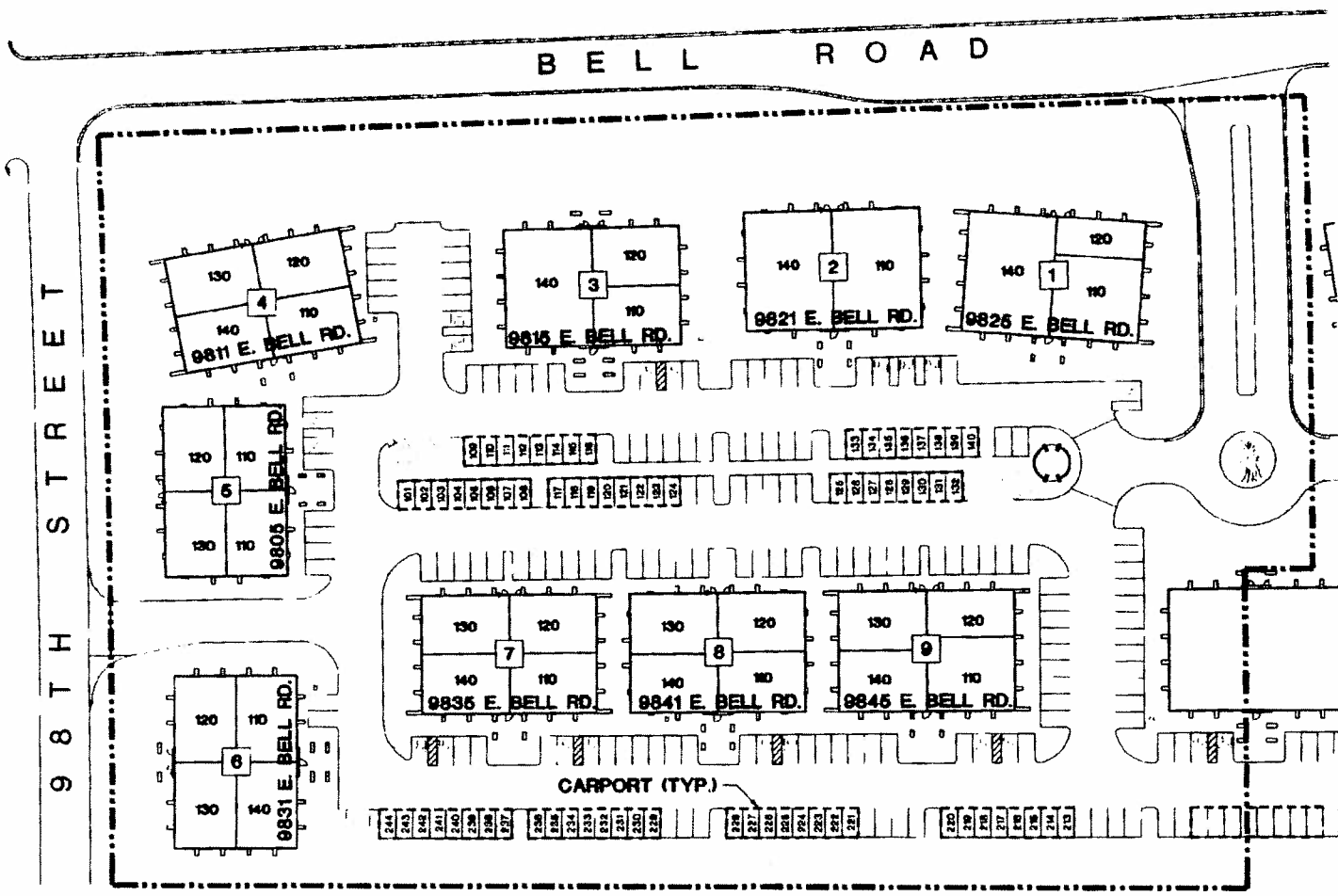


P PRIMARY SIGNAGE

S SECONDARY SIGNAGE

L LANDSCAPE WALL SIGNAGE

SITE PLAN - TENANT SIGNAGE LOCATION



•NOTE: IF YOU PURCHASE MULTIPLE UNITS - PLEASE VERIFY WITH THE POST OFFICE WHICH UNIT NUMBER TO USE FOR YOUR ADDRESS



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PHASE I SUITE NUMBERS



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TENANT SIGN DESIGN

GENERAL NOTES:

1. NO DIRECT ILLUMINATION FOR SIGNAGE
2. SIGNAGE REQUIREMENTS SHALL BE PER SECTION A OF THE SIGN PACKAGE

BUILDING ADDRESS

- LOCATION MUST BE APPROVED BY THE CITY OF SCOTTSDALE FIRE DEPARTMENT

9825

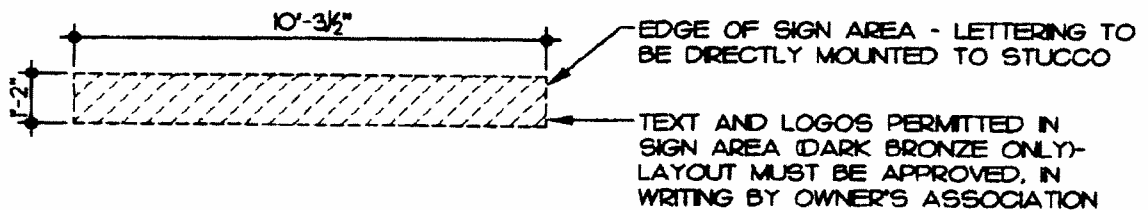
9" LETTERING (DARK BRONZE) -
"ZAPFLUMNST ULT BT" FONT

NOTES:

1. SIGN SHALL BE 1/4" THICK ALUMINUM LETTERS AND GRAPHICS PAINTED DARK BRONZE
3. LETTERS & GRAPHICS TO BE BOSS & STUD MOUNTED.

BUILDING SIGNAGE - PRIMARY

DESIGN 1: SINGLE TENANT/OWNER (12 S.F. MAX)



NOTES:

1. SIGN SHALL BE 1/4" THICK ALUMINUM LETTERS AND GRAPHICS PAINTED DARK BRONZE
3. LETTERS & GRAPHICS TO BE BOSS & STUD MOUNTED.



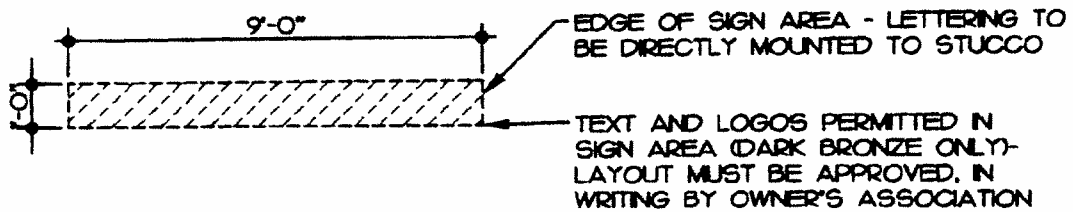
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TENANT SIGN DESIGN

BUILDING SIGNAGE - PRIMARY

DESIGN 2: HALF-BUILDING TENANT/OWNER

(9 S.F. MAX.)



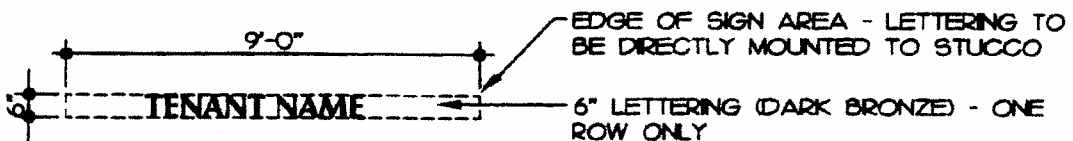
NOTES:

1. SIGN SHALL BE 1/4" THICK ALUMINUM LETTERS AND GRAPHICS PAINTED DARK BRONZE

3. LETTERS & GRAPHICS TO BE BOSS & STUD MOUNTED.

DESIGN 3: QUARTER-BUILDING TENANT/OWNER

(4.5 S.F. MAX.)



NOTES:

1. ALL LETTERING TO BE "ZAPFLUMNST ULT BT" FONT

2. SIGN SHALL BE 1/4" THICK ALUMINUM LETTERS PAINTED DARK BRONZE

3. LETTERS TO BE BOSS & STUD MOUNTED.

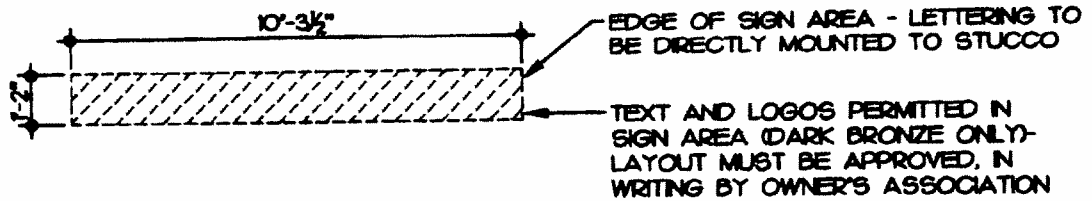


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TENANT SIGN DESIGN

BUILDING SIGNAGE - SECONDARY

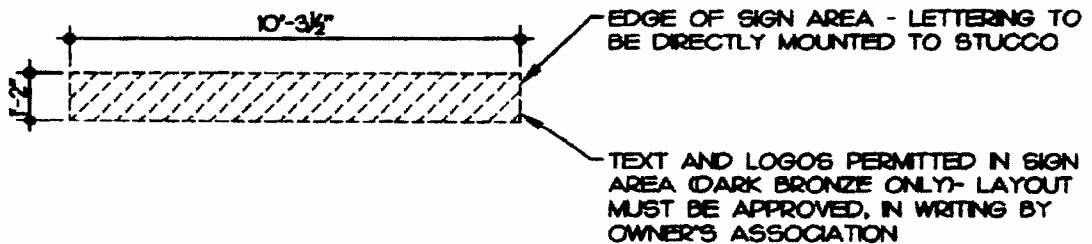
DESIGN 4: SINGLE TENANT/OWNER (12 S.F. MAX) (12 S.F. MAX)



NOTES:

1. SIGN SHALL BE 1/2" THICK ALUMINUM LETTERS AND GRAPHICS PAINTED DARK BRONZE
3. LETTERS & GRAPHICS TO BE BOSS & STUD MOUNTED.

DESIGN 5: HALF-BUILDING TENANT/OWNER (12 S.F. MAX.)



NOTES:

1. SIGN SHALL BE 1/2" THICK ALUMINUM LETTERS AND GRAPHICS PAINTED DARK BRONZE
3. LETTERS & GRAPHICS TO BE BOSS & STUD MOUNTED.

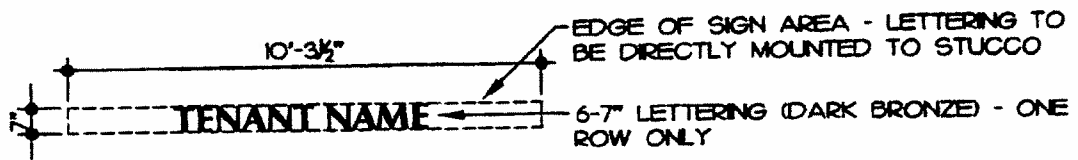


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TENANT SIGN DESIGN

BUILDING SIGNAGE - SECONDARY

DESIGN 6: QTR. BUILDING TENANT/OWNER (6 S.F. MAX.)



NOTES:

1. ALL LETTERING TO BE "ZAPFLUMNST ULT BT" FONT
2. SIGN SHALL BE 1/4" THICK ALUMINUM LETTERS PAINTED DARK BRONZE
3. LETTERS TO BE BOSS & STUD MOUNTED.

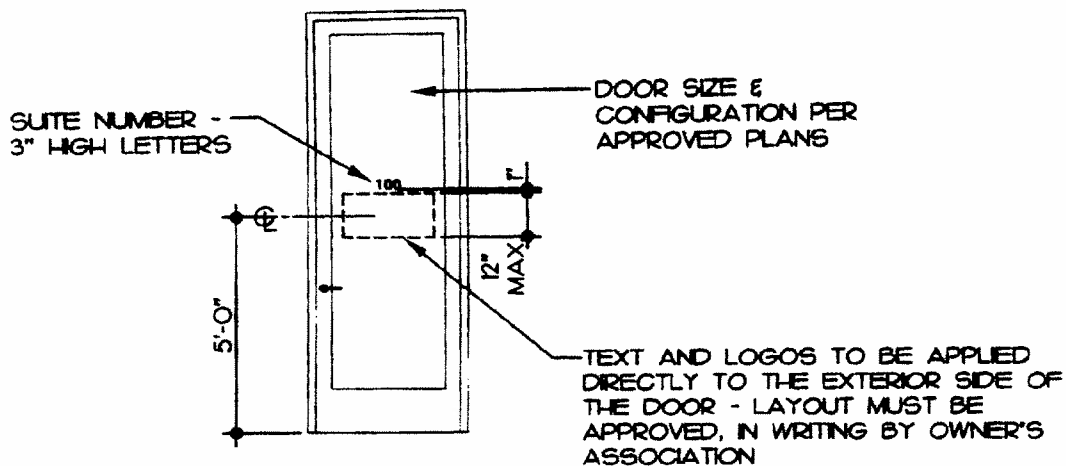


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TENANT SIGN DESIGN

DOOR SIGNAGE

DOOR SIGNAGE



NOTES:

1. SUITE NUMBER TO BE "ZAPFLUMNST ULT BT" FONT
2. TYPEFACE AND GRAPHICS MUST BE EASILY READ AND BE IN SCALE WITH THE ARCHITECTURAL DESIGN OF THE BUILDING
3. TYPEFACE AND GRAPHICS SHALL BE COLORED WHITE.
4. HIGH-PERFORMANCE GLASS-APPLIED VINYL GRAPHICS SHALL BE USED AND APPLIED TO THE FIRST SURFACE (EXTERIOR PANE OF GLASS)



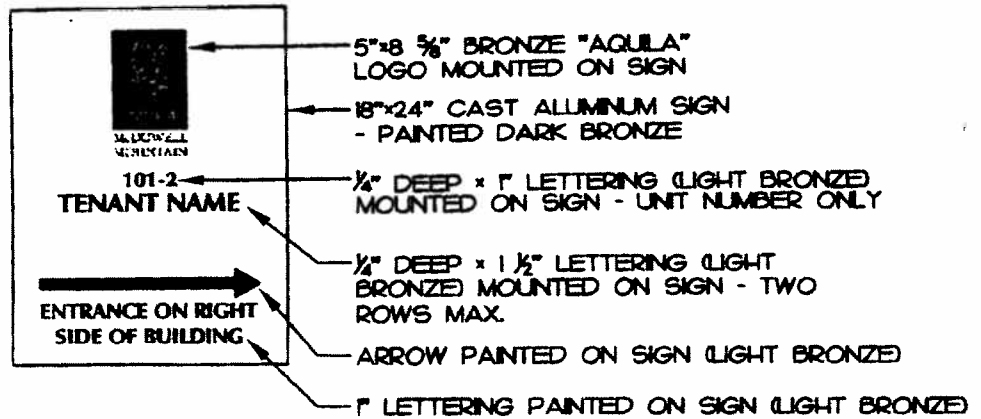
McDOWELL
MOUNTAIN

TENANT SIGN DESIGN

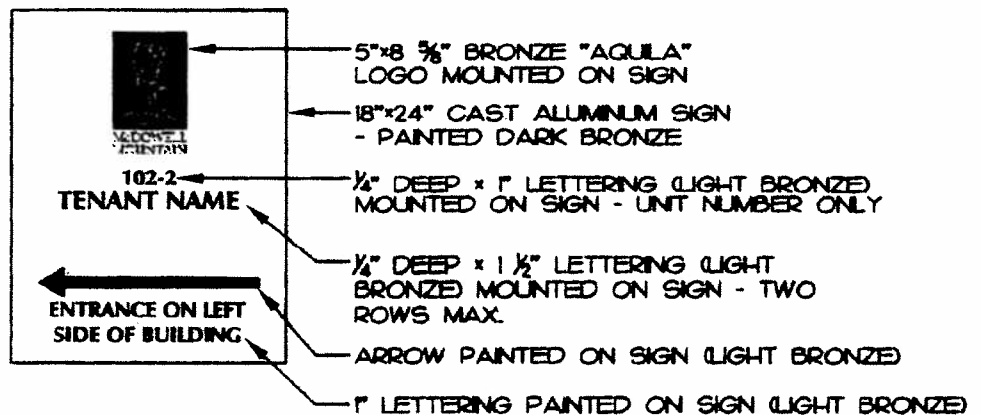
DIRECTIONAL SIGNAGE

AT BUILDING EXTERIOR

RIGHT DIRECTIONAL SIGN



LEFT DIRECTIONAL SIGN

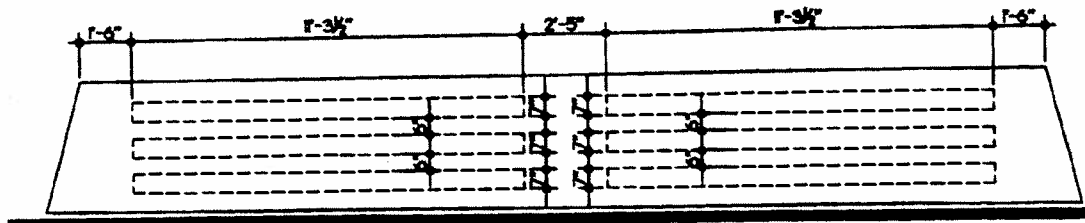




McDOWELL
MOUNTAIN

TENANT SIGN DESIGN

LANDSCAPE WALL SIGNAGE



NOTES:

1. ALL LETTERING TO BE "ZAPFLUMNST ULT BT" FONT
2. SIGN SHALL BE 1/4" THICK ALUMINUM LETTERS PAINTED DARK BRONZE
3. LETTERS TO BE BOSS & STUD MOUNTED.
4. SIGN DIMENSIONS SHOWN ABOVE ARE MAXIMUM. INDIVIDUAL TENANT IDENTIFICATION AREA SHALL BE LIMITED (1) FOR EACH (1,000) S.F. OF OWNER'S UNIT.



UNIT ENTRIES CLOSEST TO THIS BUILDING SIDE SHALL HAVE TOP SIGN LOCATION



BUILDING ADDRESS

JESANI NAME
JESANI NAME

9825

TENANT NAME
TENANT NAME

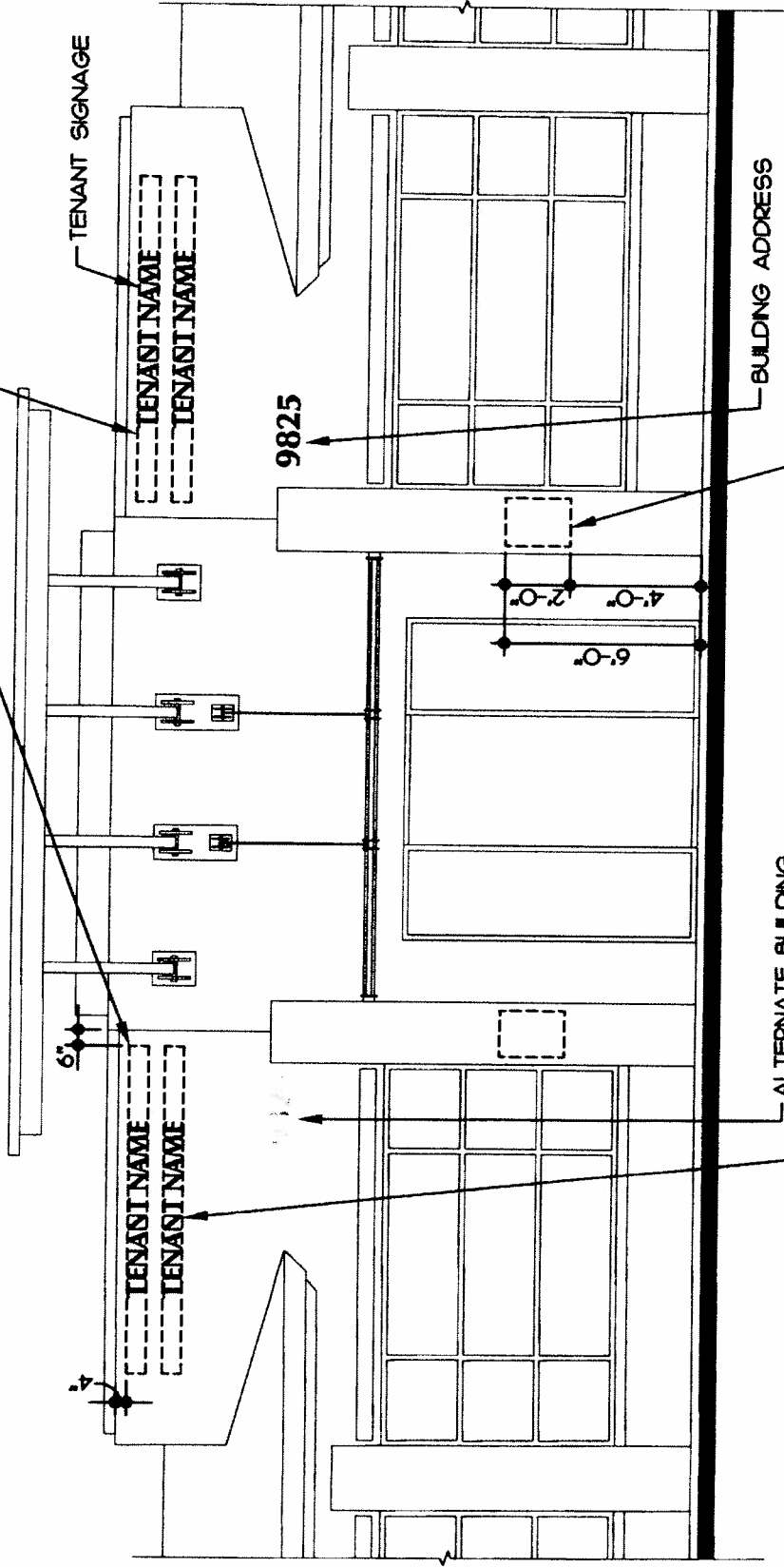
ALTERNATE BUILDING ADDRESS LOCATION

TENANT SIGNAGE

BUILDING TYPE 'A' (PRIMARY SIGNAGE) REAR ELEVATION (QUARTER - BUILDING TENANT)



UNIT ENTRIES CLOSEST TO THIS BUILDING SIDE SHALL HAVE TOP SIGN LOCATION



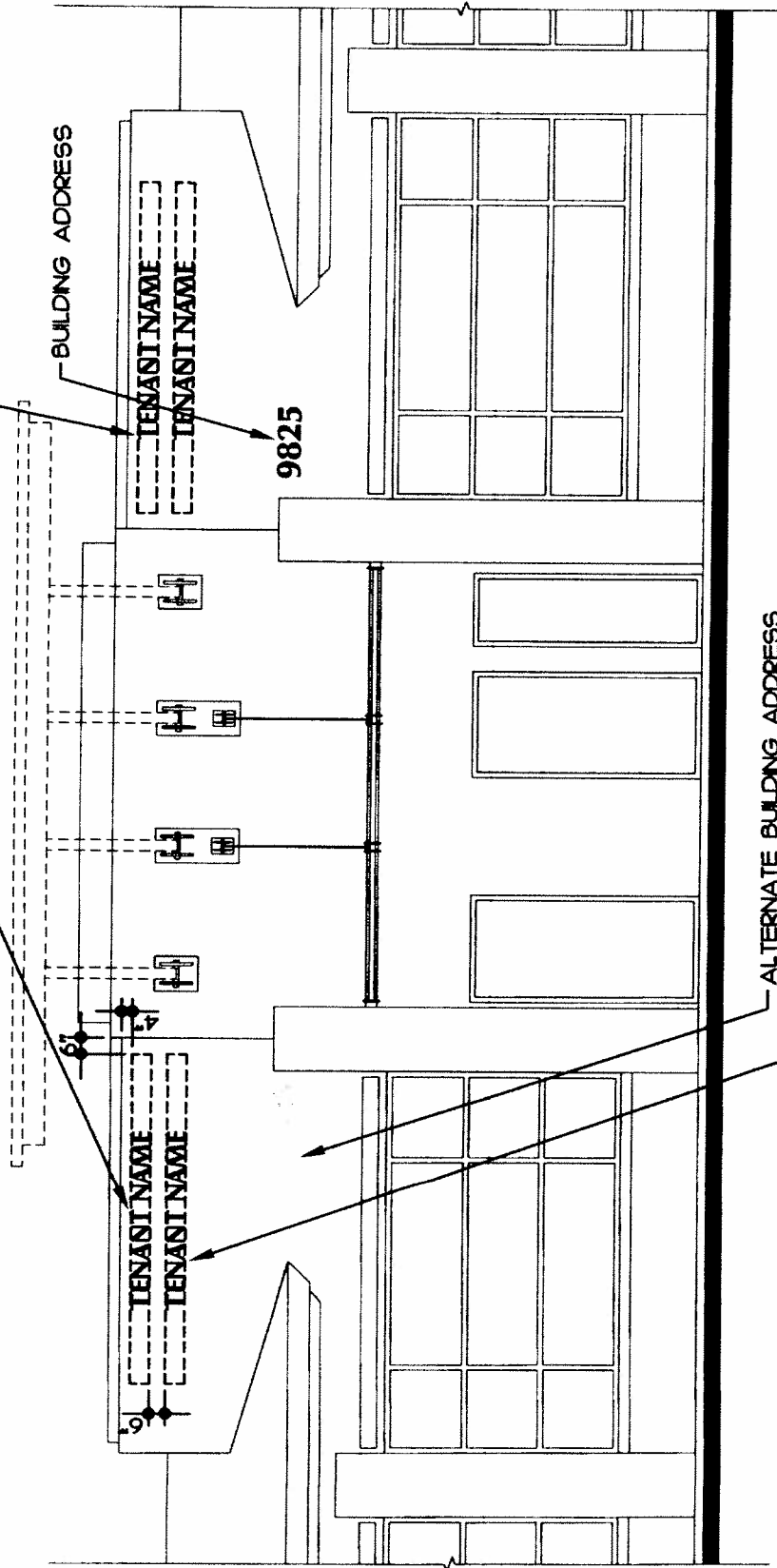
DIRECTIONAL SIGNS - PLACE ON ANY COLUMN WHICH PROVIDES FOR THE BEST VISIBILITY. LOCATION TO BE APPROVED BY OWNER'S ASSOCIATION



BUILDING TYPE 'A' (SECONDARY SIGNAGE) FRONT ELEVATION (QUARTER-BUILDING TENANT)



UNT ENTRIES CLOSEST TO THIS BUILDING SIDE SHALL HAVE TOP SIGN LOCATION

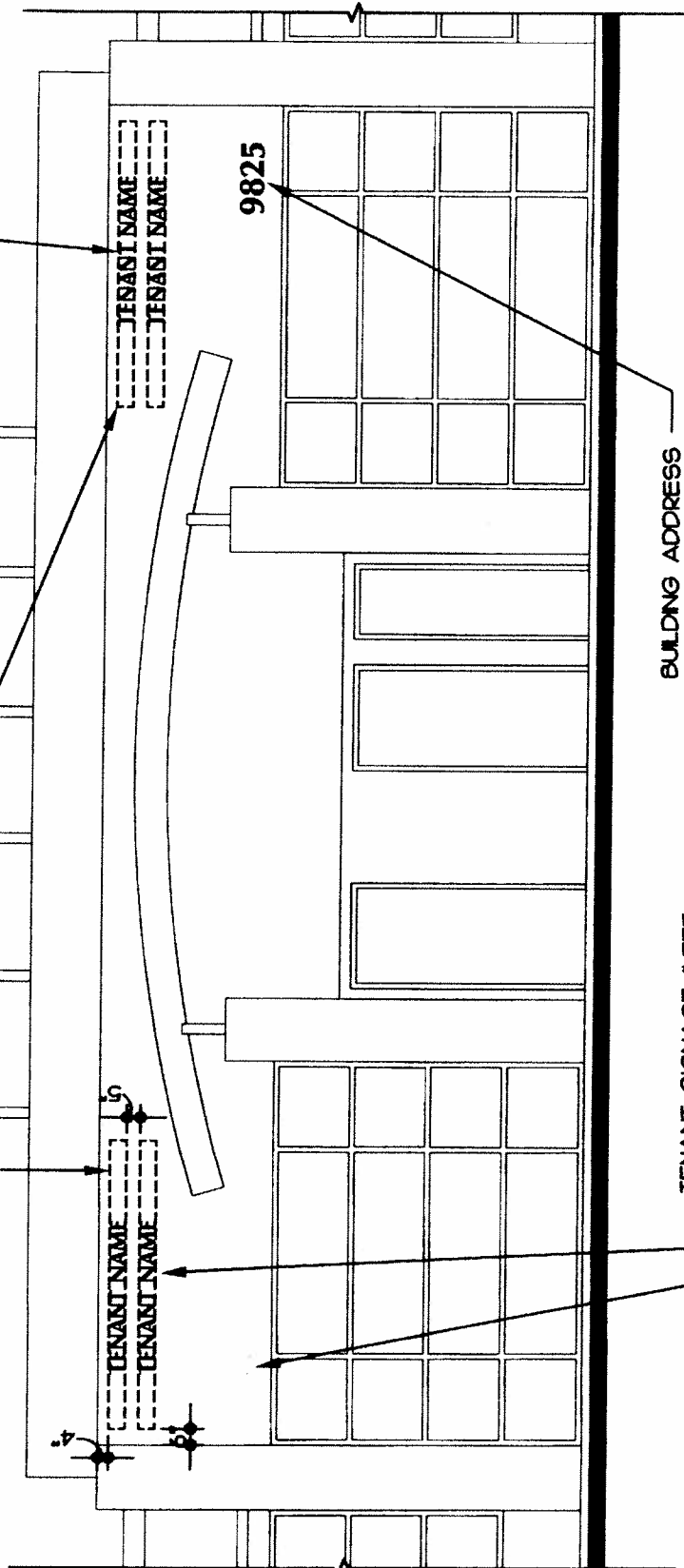


**BUILDING TYPE 'A' (SECONDARY SIGNAGE)
REAR ELEVATION (QUARTER-BUILDING TENANT)**



UNIT ENTRIES CLOSEST TO THIS BUILDING SIDE SHALL HAVE TOP SIGN LOCATION

TENANT SIGNAGE (RIGHT JUSTIFIED)



BUILDING ADDRESS

TENANT SIGNAGE (LEFT JUSTIFIED)

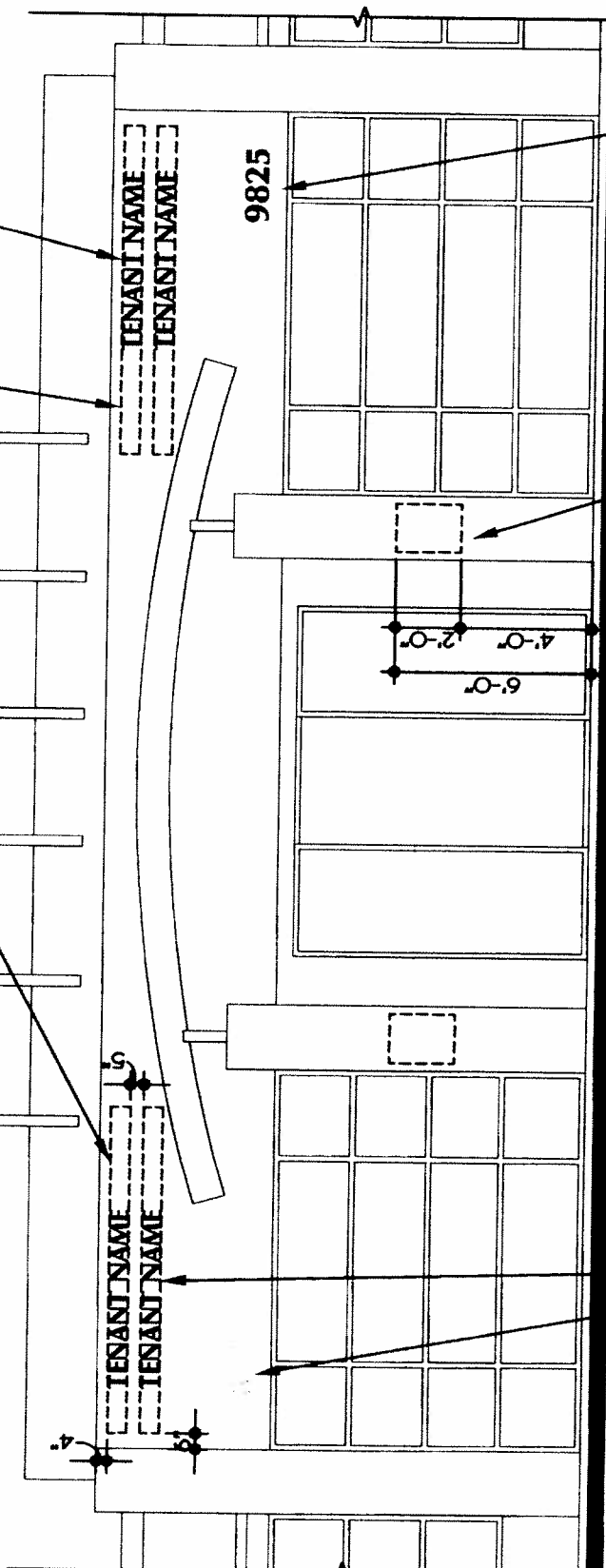
ALTERNATE BUILDING ADDRESS LOCATION

BUILDING TYPE 'B' (PRIMARY SIGNAGE) REAR ELEVATION (QUARTER - BUILDING TENANT)



UNIT ENTRIES CLOSEST TO THIS BUILDING SIDE SHALL HAVE TOP SIGN LOCATION

TENANT SIGNAGE (RIGHT JUSTIFIED)



TENANT SIGNAGE (LEFT JUSTIFIED)

ALTERNATE BUILDING ADDRESS LOCATION

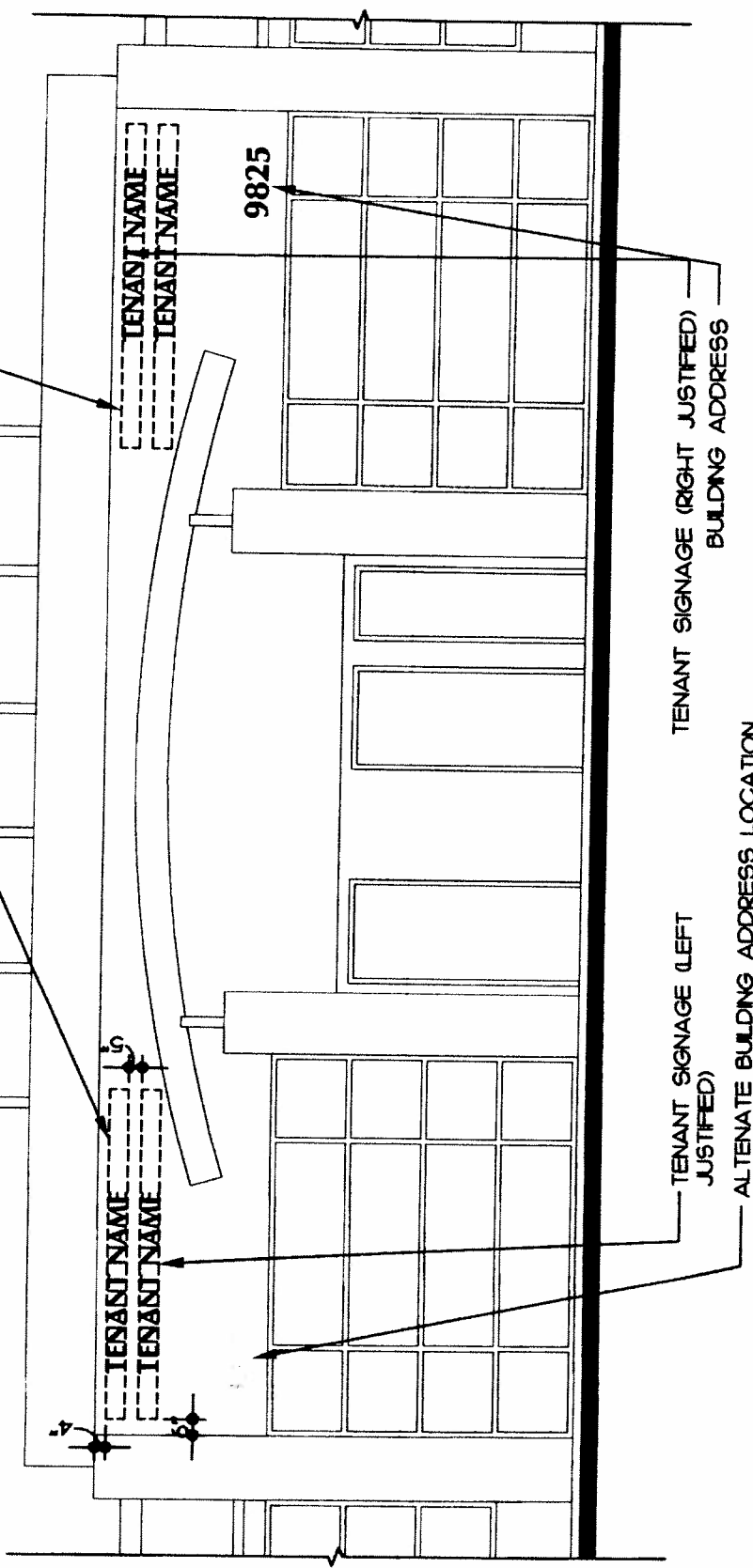
BUILDING ADDRESS

DIRECTIONAL SIGNS - PLACE ON ANY COLUMN WHICH PROVIDES FOR THE BEST VISIBILITY. LOCATION TO BE APPROVED BY OWNER'S ASSOCIATION

BUILDING TYPE 'B' (SECONDARY SIGNAGE) FRONT ELEVATION (QUARTER - BUILDING TENANT)



UNIT ENTRIES CLOSEST TO THIS BUILDING SIDE SHALL HAVE TOP SIGN LOCATION

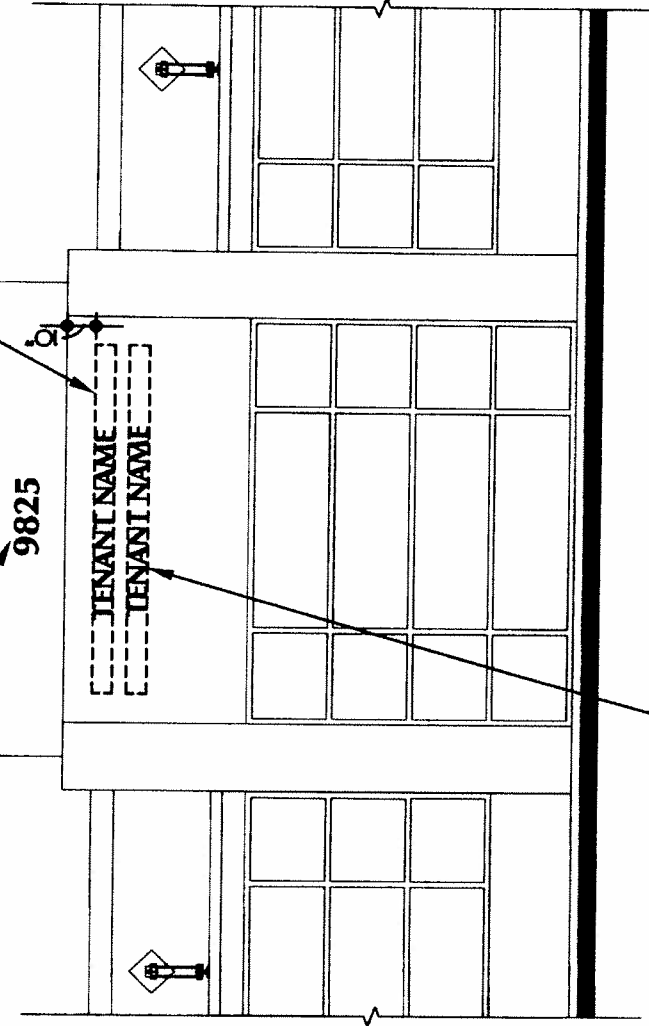


**BUILDING TYPE 'B' (SECONDARY SIGNAGE)
REAR ELEVATION (QUARTER - BUILDING TENANT)**



UNIT ENTRIES CLOSEST TO THIS BUILDING SIDE SHALL HAVE TOP SIGN LOCATION

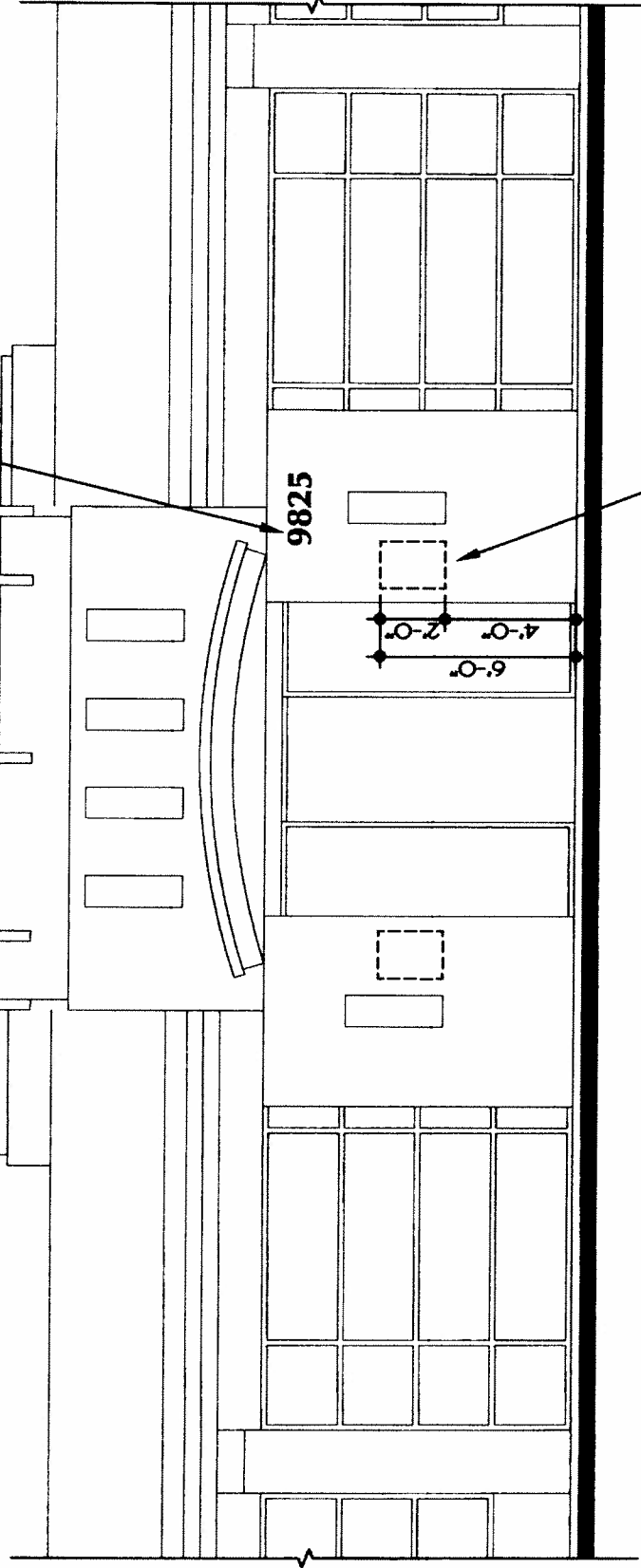
BUILDING ADDRESS



BUILDING TYPE 'B' (SECONDARY SIGNAGE) REAR ELEVATION (QUARTER - BUILDING TENANT)



BUILDING ADDRESS IF APPROVED
BY FIRE DEPARTMENT



DIRECTIONAL SIGNS - PLACE ON
ANY COLUMN WHICH PROVIDES
FOR THE BEST VISIBILITY.
LOCATION TO BE APPROVED BY
OWNER'S ASSOCIATION

BUILDING TYPE 'C' (SECONDARY SIGNAGE) FRONT ELEVATION (QUARTER-BUILDING TENANT)

VP

VICTORIA PROPERTIES MANAGEMENT, LLC

637 S. 48TH STREET, SUITE #212

TEMPE, AZ 85281

(480) 303-6701 - PHONE

(480) 303-6704 - FAX

FACSIMILE TRANSMITTAL SHEET

TO: MARTIN HAZINE

FROM: MEGHAN KEY

Meghan@VPmanagement.com 480-776-5905

COMPANY:

DATE: 6/21/2005

FAX NUMBER: 480-945-0215

TOTAL NO. OF PAGES INCLUDING COVER: 1

PHONE NUMBER:

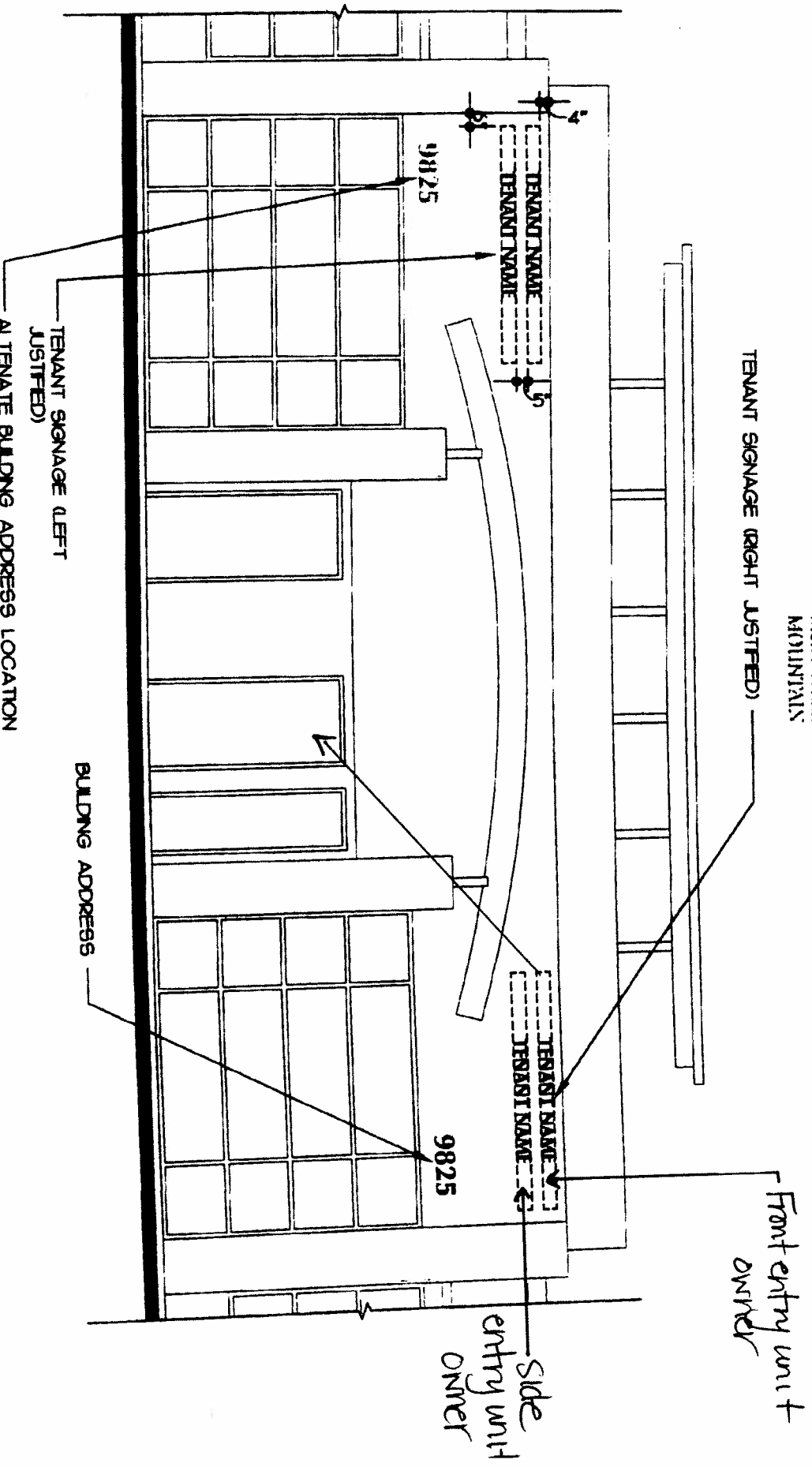
RE: AQUILA SIGNAGE CRITERIA AMENDMENT

URGENT FOR REVIEW PLEASE COMMENT PLEASE REPLY PLEASE RECYCLE

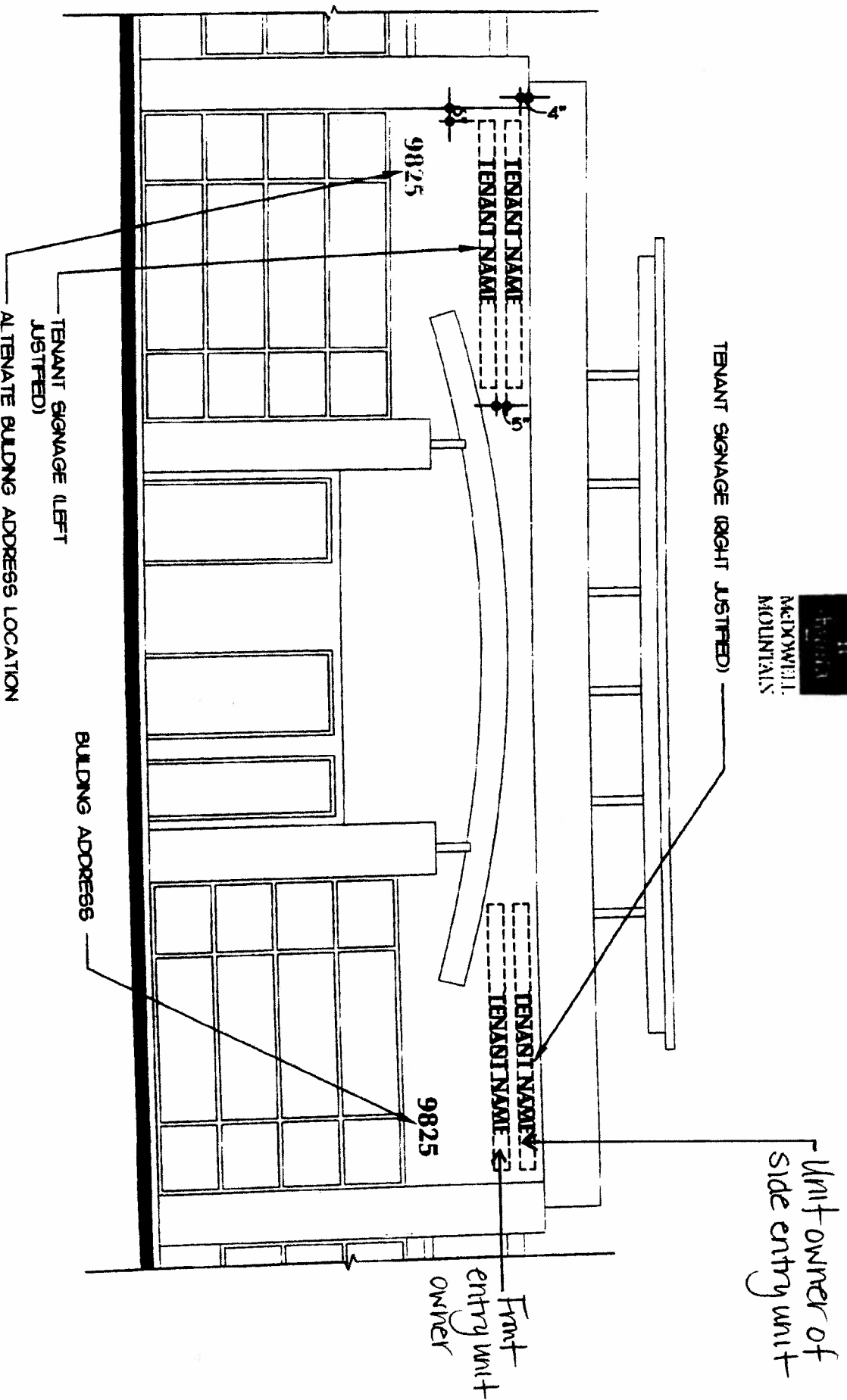
Hello Martin,

As a follow up to our conversation, here is the proposed signage criteria amendment agreed upon by all of the current owners of building 5:

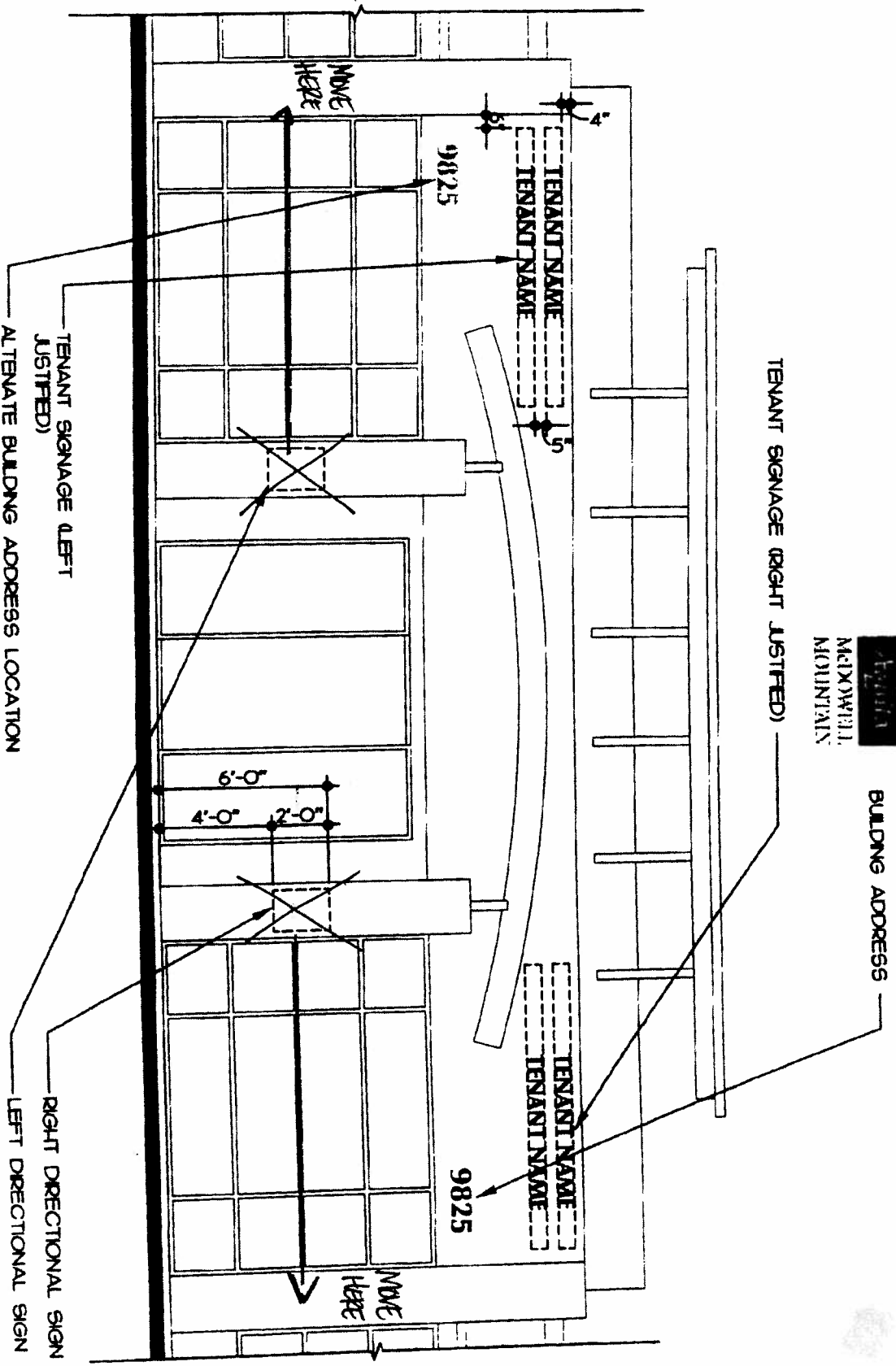
Best Regards,
Meghan Key
Victoria Properties Management, LLC



BUILDING TYPE 'B' (PRIMARY SIGNAGE)
~~REAR~~ ELEVATION (QUARTER - BUILDING TENANT) (Parking lot side)
E-3



**BUILDING TYPE 'B' (SECONDARY SIGNAGE)
 REAR ELEVATION (QUARTER - BUILDING TENANT) (98th Street side) E-11**



**BUILDING TYPE 'B' (SECONDARY SIGNAGE)
FRONT ELEVATION (QUARTER - BUILDING TENANT)**

May 18, 2005

To Whom It May Concern:

This letter is to formally inform both Victoria Properties and George Tibsherany of Integrity Capital's objection regarding the current layout of signage on Building 5 of Aquila at McDowell Mountain. As you know, Building 5 consists of four office condominiums of which Integrity Capital has acquired the northeast quarter, Congress Realty has acquired the northwest quarter, Commercial Investment Advisors has acquired the south east quarter and the owner (if any) of the southwest quarter is unknown to Integrity Capital at this time.

It has come to our attention that the sign for Congress Realty (northwest corner suite) is directly above Integrity Capital's door to its suite. It has also come to our attention that, more recently, an additional sign has been added to the front of Integrity Capital's suite pointing Congress Realty's foot traffic to its suite. At present, that is three signs that Congress Realty has on Building 5. What is more troubling to our Firm is that Congress Realty's signage that faces east is in the mirror image identical space that Commercial Investment Advisors' signage. When you look at Commercial Investment Advisors' signage on the eastern face of the building and look down, you see the door to their suite. When you look at Congress Realty's signage on the eastern face of the building and look down, you see the door to Integrity Capital's suite. Both signs are at the same height and location on both the north and south portions of the eastern face of the building.

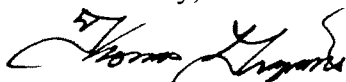
We do not wish to refer Congress Realty's foot traffic to their suite for the time that we choose to occupy our suite because the signage is confusing and leads one to think that Congress Realty is, in fact, in Integrity Capital's location.

Our suggestion to offer a solution that all parties can win and still accomplish a logical layout for the signage is as follows:

Move Congress Realty's signage to the northern edge of the building, almost directly above the walkway to their suite. Integrity Capital's signage can then go above the door to its suite. This allows Congress Realty to retain its signage and have the same (if not better) exposure on the eastern face of the building. It also puts their signage a substantially closer to their suite and hopefully eliminates some confusion. It may even eliminate the need for the third sign/plaque that Congress Realty recently placed on the eastern face of the building. This also sets precedence for the acquirer of the suite that is directly west of Commercial Investment Advisors. That party will then have a clear idea as to where to place its signage and will save Commercial Investment Advisors from having the same problem we are experiencing.

Please consider our predicament and the potential solution we have laid out. We look forward to a productive discussion to work out an amicable solution for all parties.

Sincerely,



Thomas Graziano



Dave Kotter

*
* TRANSACTION REPORT *
*
* P. 01 *
* JUN-21-2005 TUE 04:57 PM *
*
* FOR: Vision Offices 480+776+5995 *
*

* SEND *
*
* DATE START RECEIVER TX TIME PAGES TYPE NOTE M# DP *

* JUN-21 04:55 PM 94809450215 1'56" 4 FAX TX OK 835 *

*
* TOTAL : 1M 56S PAGES: 4 *
*

VP
VICTORIA PROPERTIES
MANAGEMENT, LLC

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TEMPE, AZ 85281
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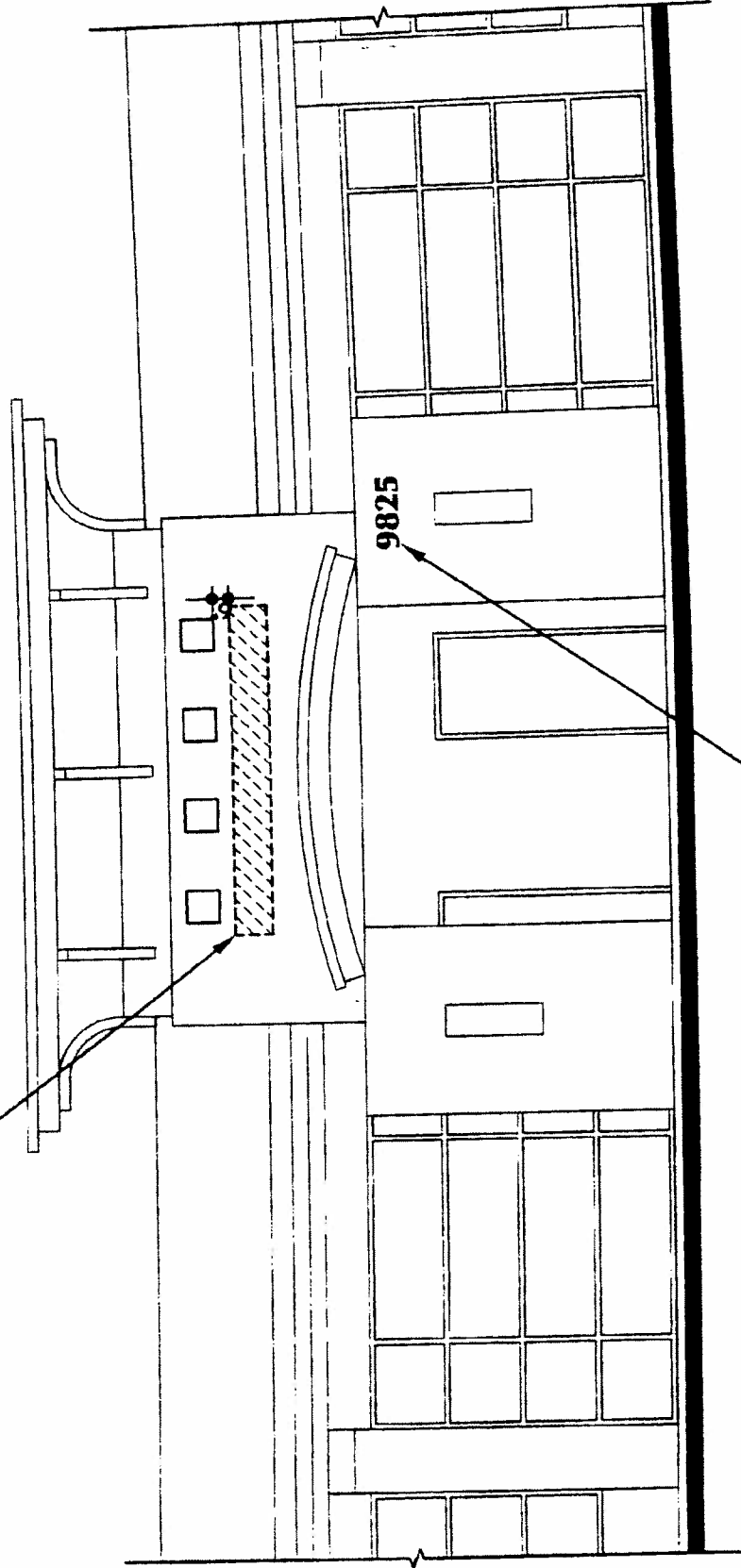
PHONE NUMBER:

RE: AQUILA SIGNAGE CRITERIA AMENDMENT



McIXWHILL
MOUNTAIN

TENANT SIGNAGE
RIGHT JUSTIFIED TEXT



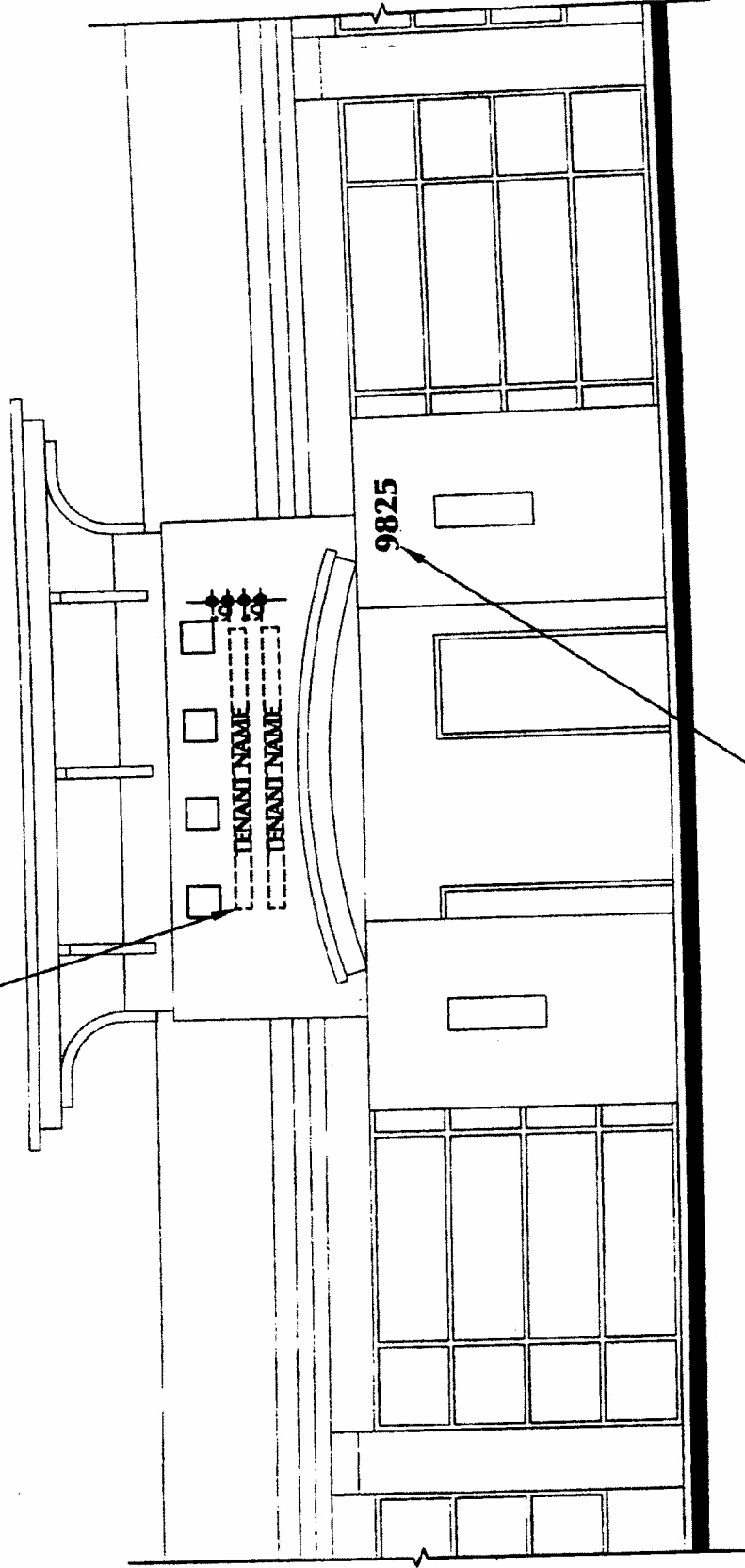
9825

BUILDING ADDRESS IF APPROVED
BY FIRE DEPARTMENT

**BUILDING TYPE 'C' (PRIMARY SIGNAGE)
REAR ELEVATION (QUARTER OR HALF - BUILDING TENANT)**

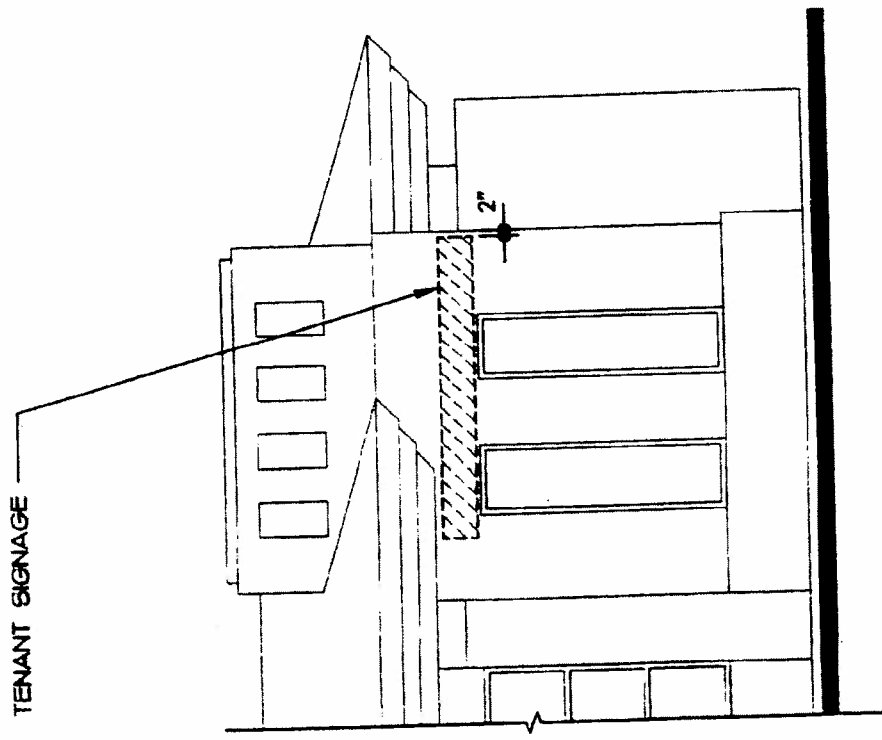
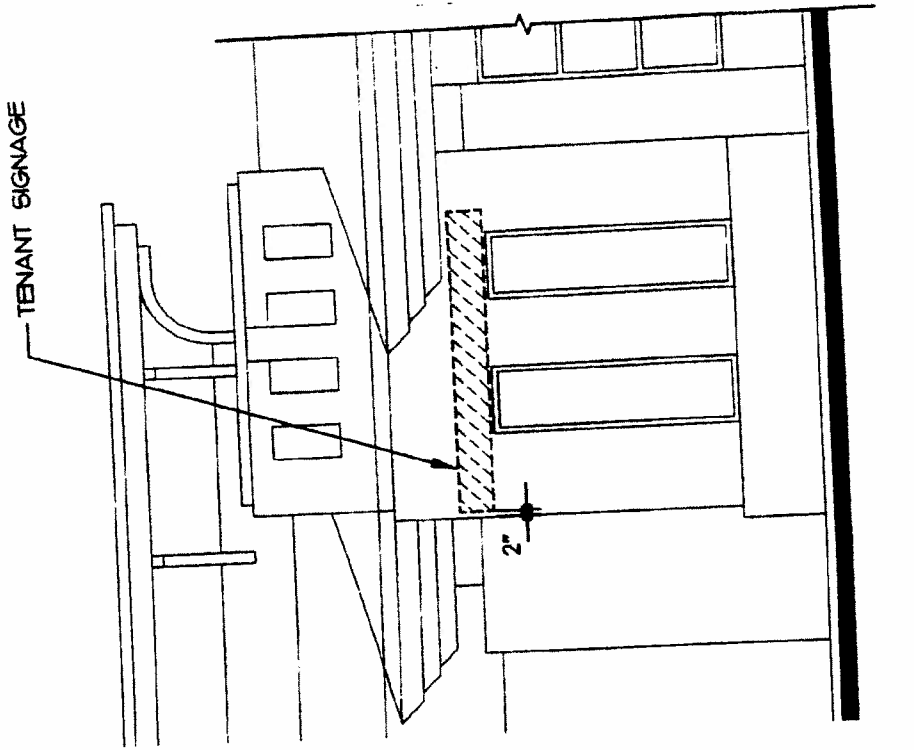


TENANT SIGNAGE
RIGHT JUSTIFIED TEXT



BUILDING ADDRESS IF APPROVED
BY FIRE DEPARTMENT

**BUILDING TYPE 'C' (PRIMARY SIGNAGE)
REAR ELEVATION (QUARTER OR HALF - BUILDING TENANT)**

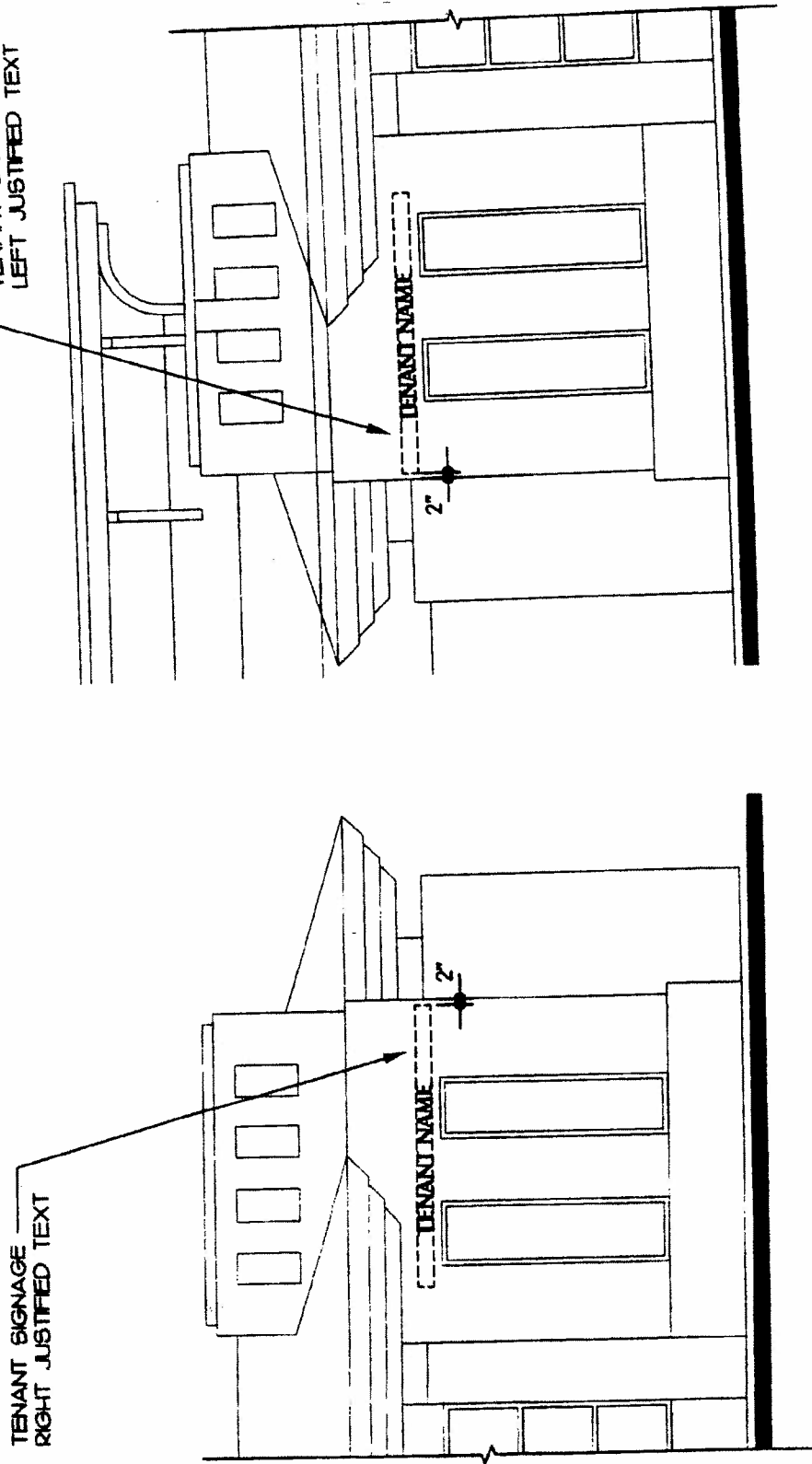


**BUILDING TYPE 'C' (PRIMARY SIGNAGE)
TYPICAL BUILDING CORNERS (HALF - BUILDING SIGNAGE)**



TENANT SIGNAGE
RIGHT JUSTIFIED TEXT

TENANT SIGNAGE
LEFT JUSTIFIED TEXT

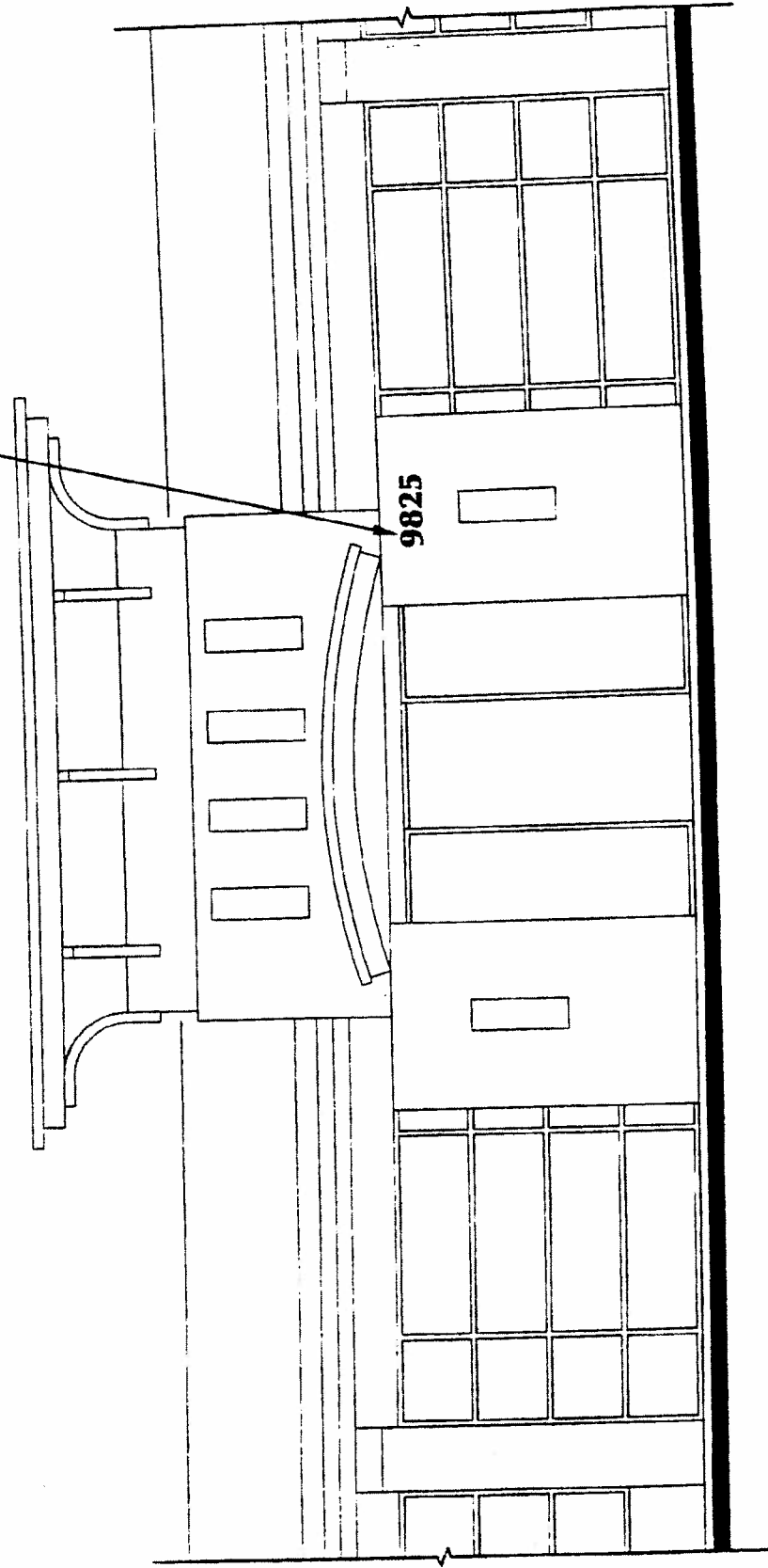


**BUILDING TYPE 'C' (PRIMARY SIGNAGE)
TYPICAL BUILDING CORNERS (QUARTER BUILDING SIGNAGE)**



McDOWELL
MOUNTAINS

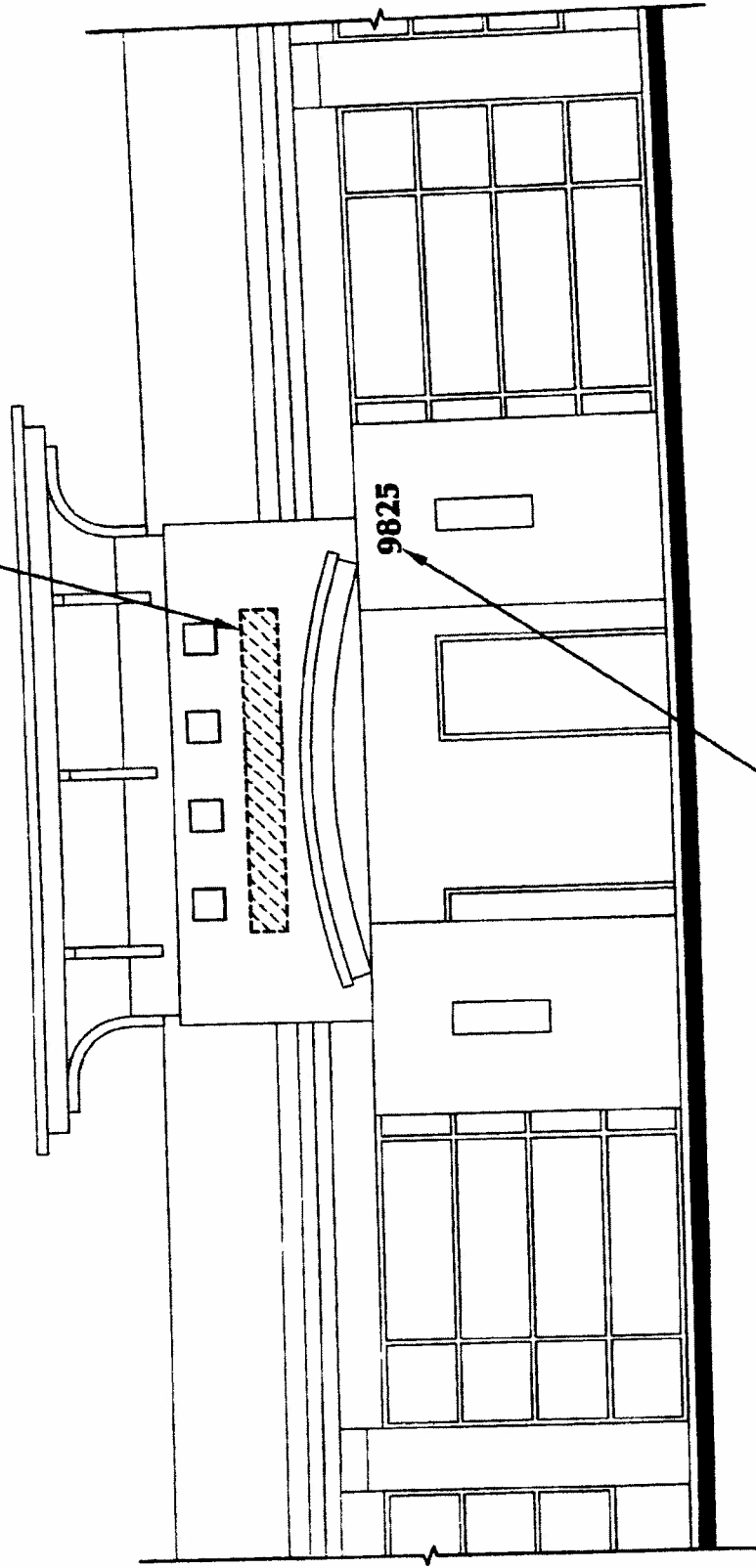
BUILDING ADDRESS IF APPROVED
BY FIRE DEPARTMENT



**BUILDING TYPE 'C' (SECONDARY SIGNAGE)
FRONT ELEVATION (SINGLE TENANT)**

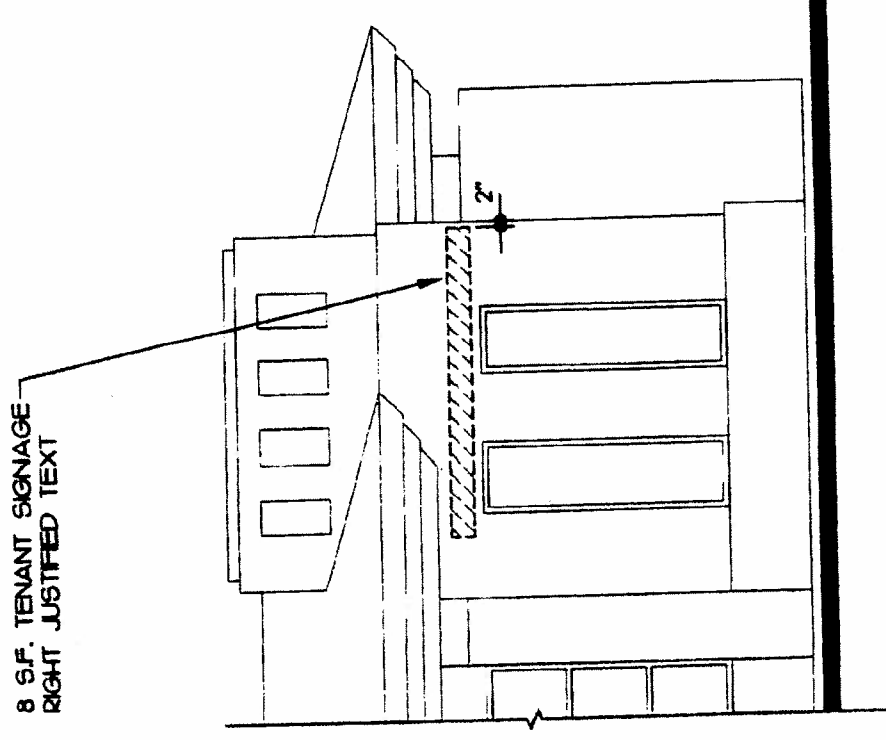
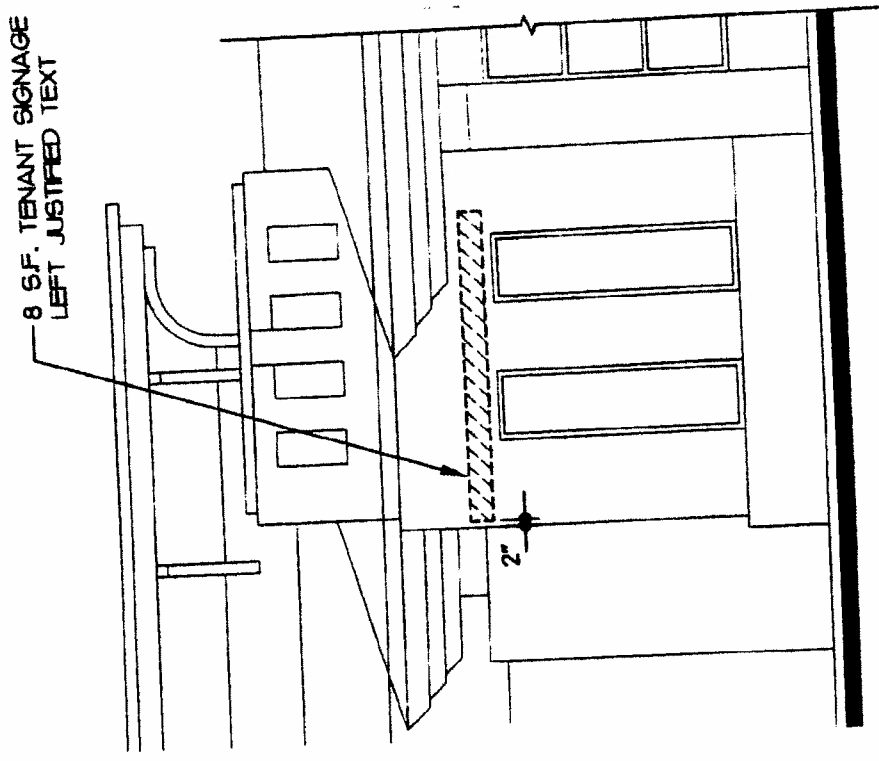


12 S.F. TENANT SIGNAGE
LEFT JUSTIFIED TEXT



BUILDING ADDRESS IF APPROVED
BY FIRE DEPARTMENT

**BUILDING TYPE 'C' (SECONDARY SIGNAGE)
REAR ELEVATION (SINGLE TENANT)**

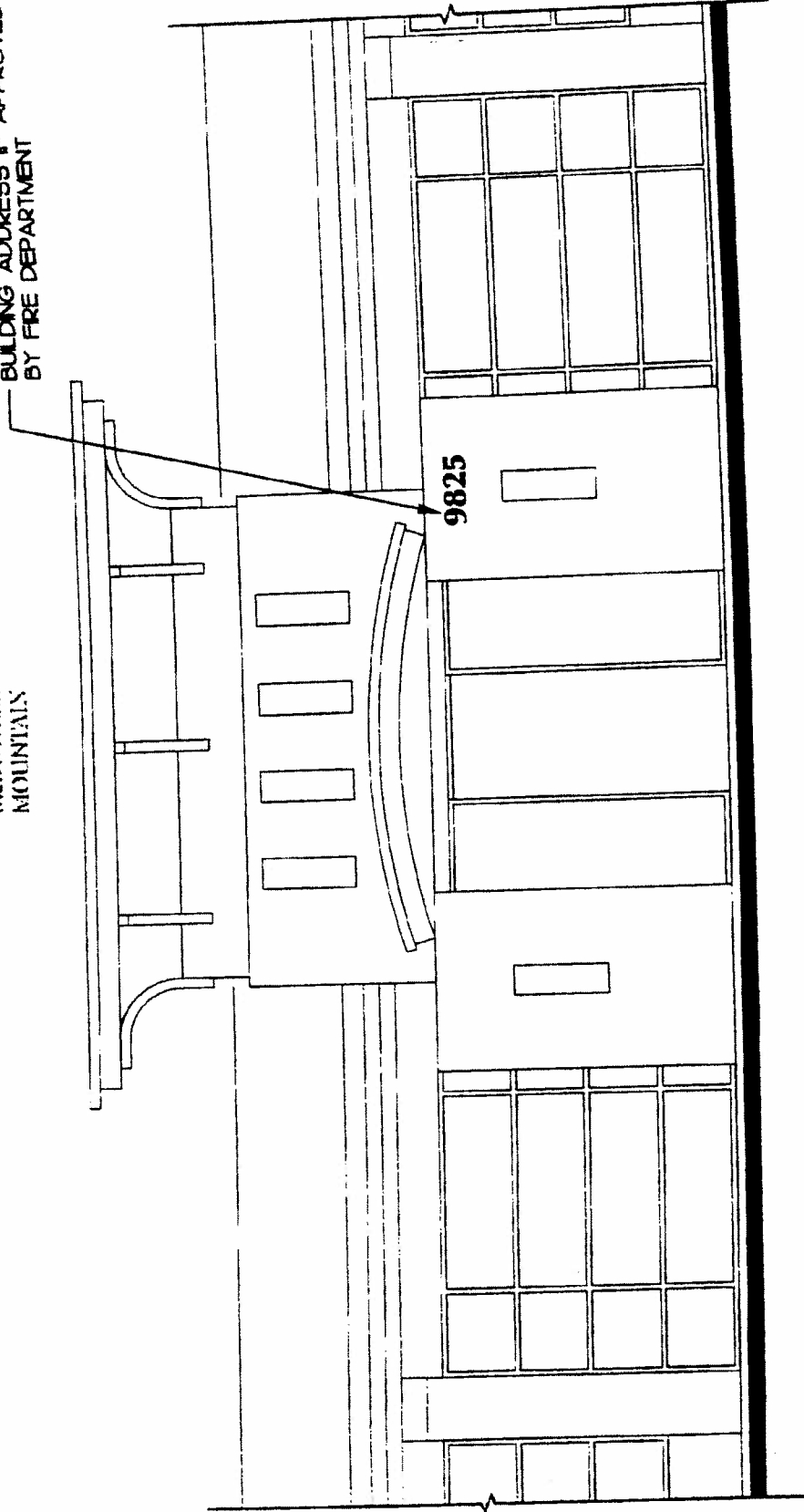


**BUILDING TYPE 'C' (SECONDARY SIGNAGE)
TYPICAL BUILDING CORNERS (SINGLE TENANT)**

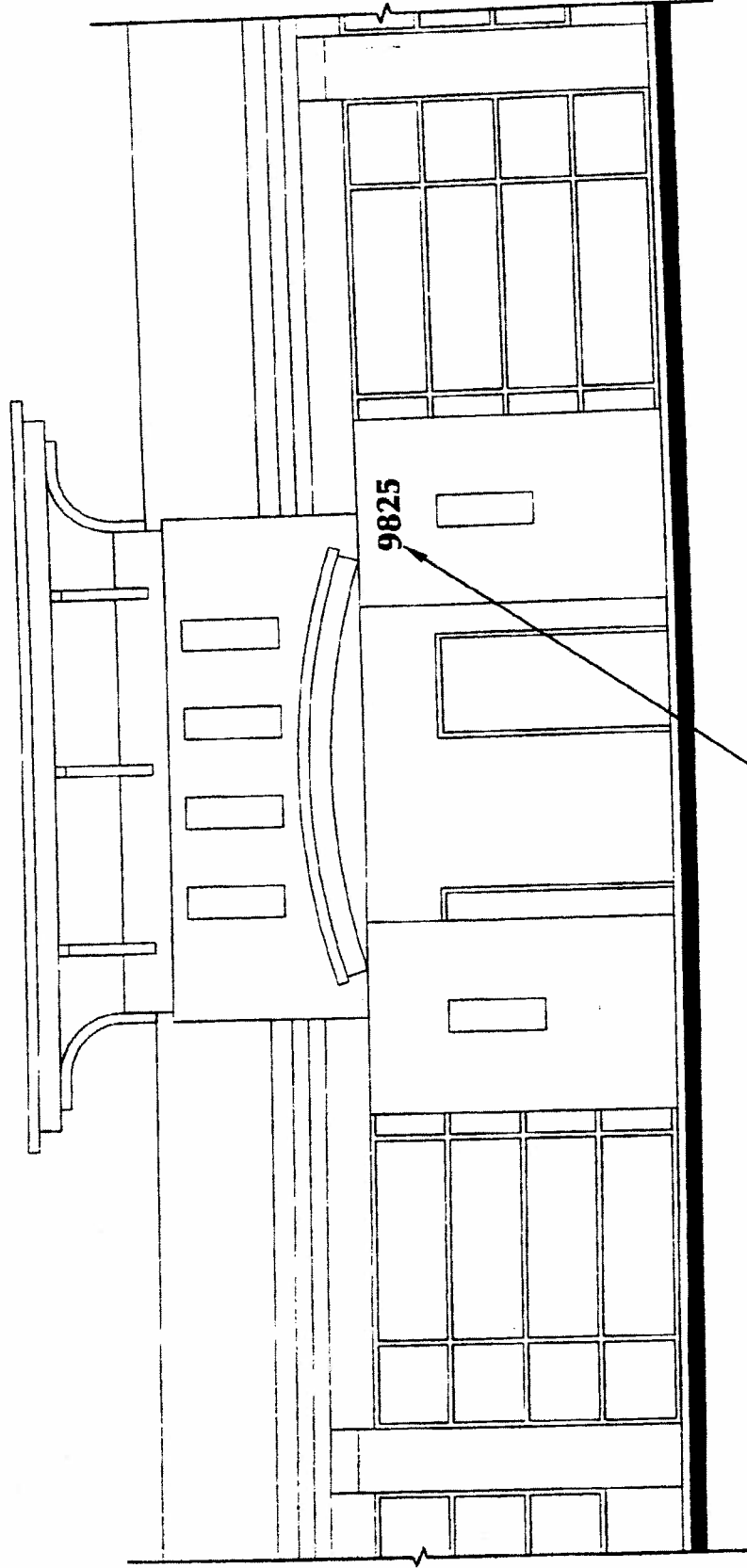


McXWELL
MOUNTAINS

BUILDING ADDRESS IF APPROVED
BY FIRE DEPARTMENT



**BUILDING TYPE 'C' (SECONDARY SIGNAGE)
FRONT ELEVATION (HALF-BUILDING TENANT)**



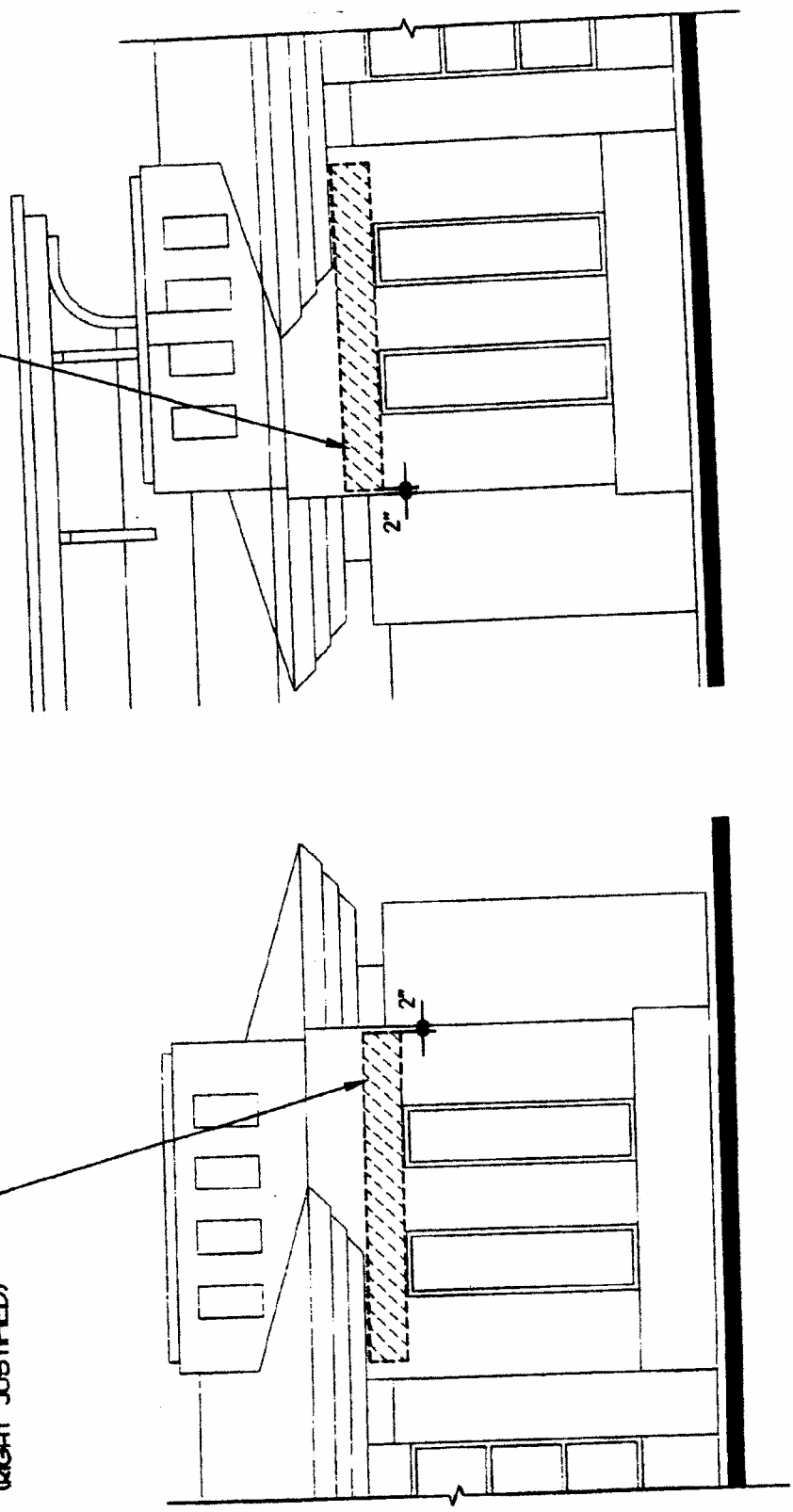
BUILDING ADDRESS IF APPROVED
BY FIRE DEPARTMENT

**BUILDING TYPE 'C' (SECONDARY SIGNAGE)
REAR ELEVATION (HALF-BUILDING TENANT)**



ALTERNATE TENANT SIGNAGE
LOCATION (LEFT JUSTIFIED)

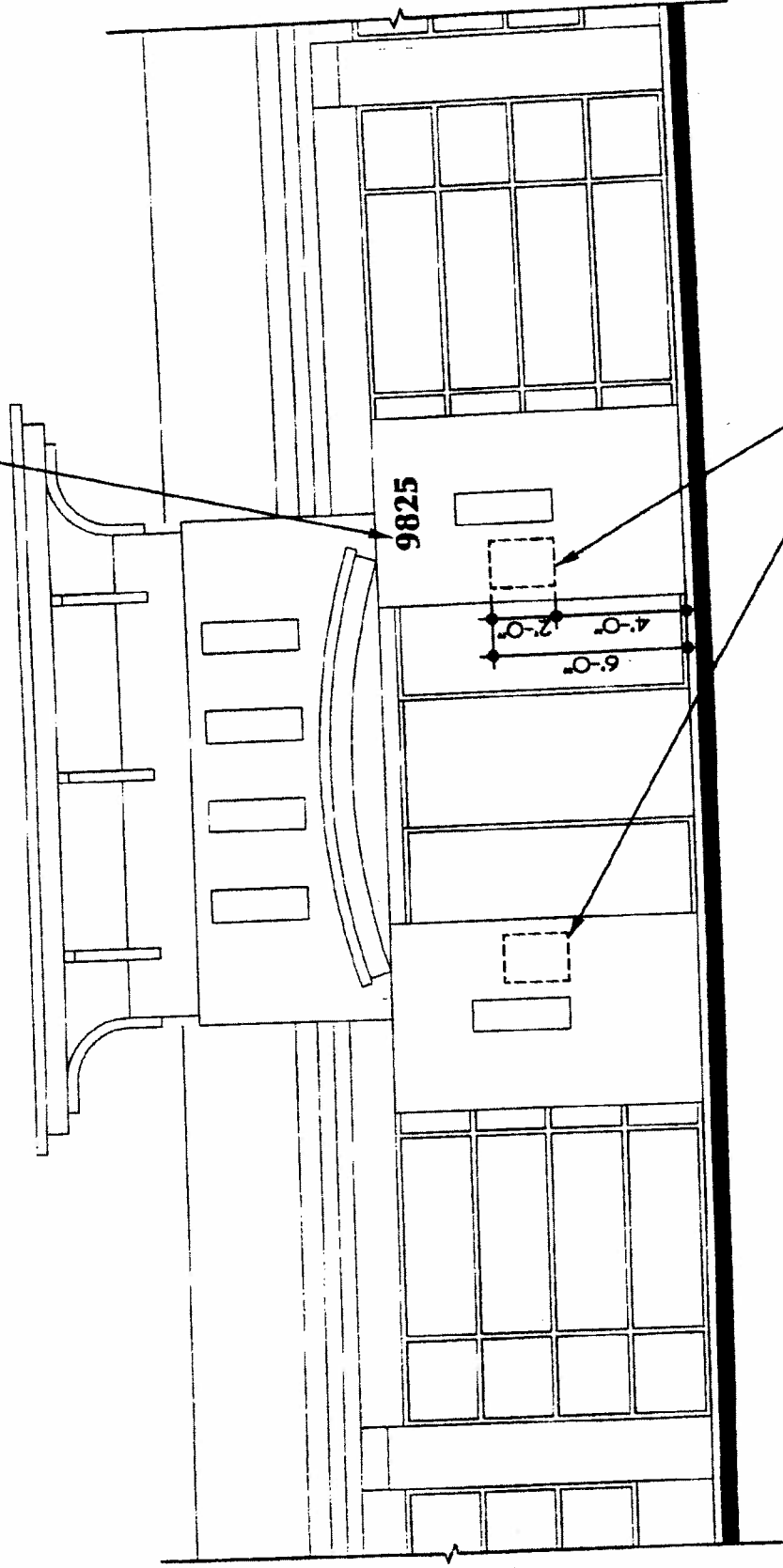
TENANT SIGNAGE
(RIGHT JUSTIFIED)



**BUILDING TYPE 'C' (SECONDARY SIGNAGE)
TYPICAL BUILDING CORNERS (HALF-BUILDING TENANT)**



BUILDING ADDRESS IF APPROVED
BY FIRE DEPARTMENT



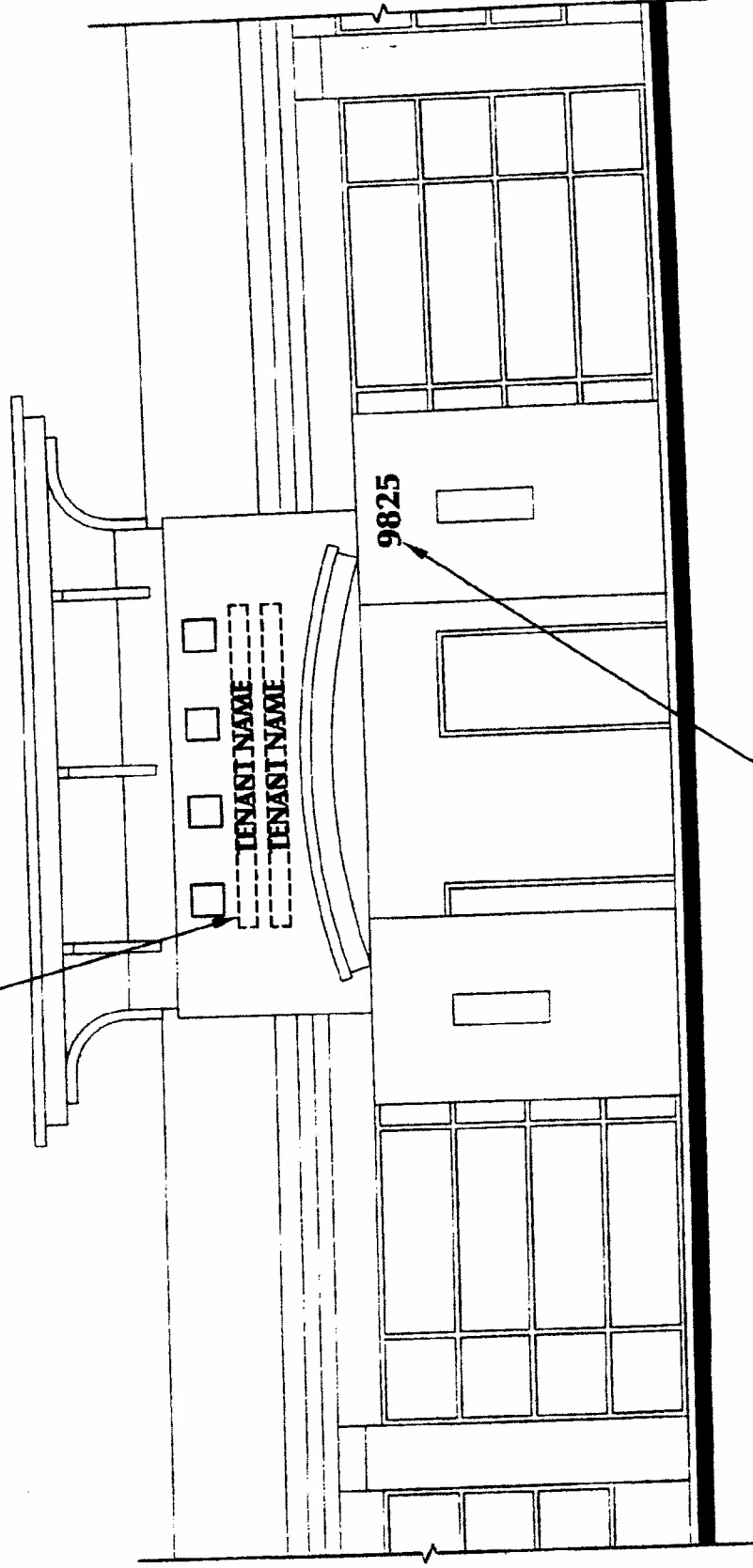
RIGHT DIRECTIONAL SIGN
LEFT DIRECTIONAL SIGN

**BUILDING TYPE 'C' (SECONDARY SIGNAGE)
FRONT ELEVATION (QUARTER-BUILDING TENANT)**



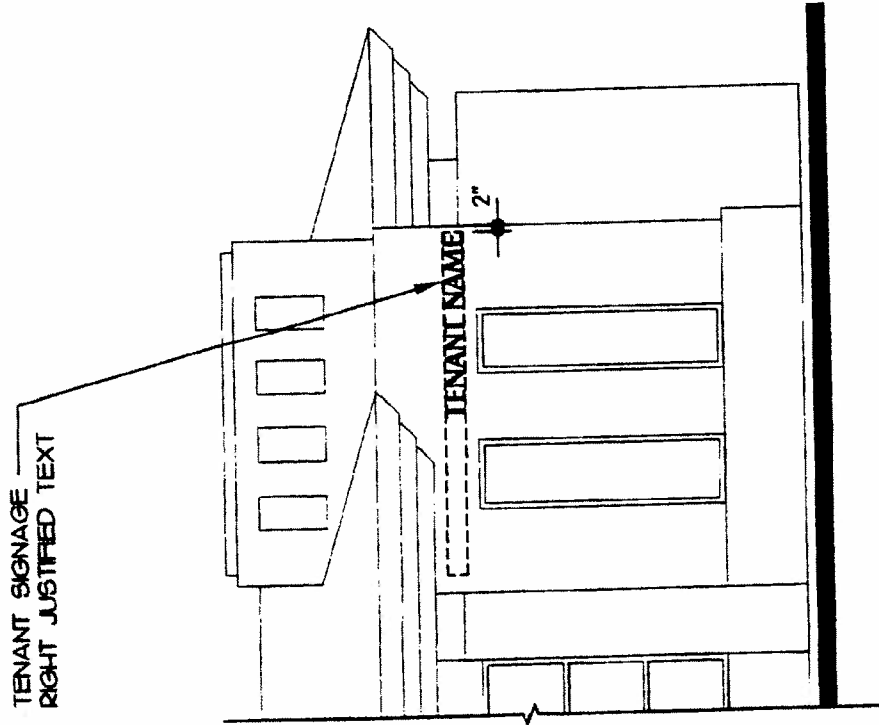
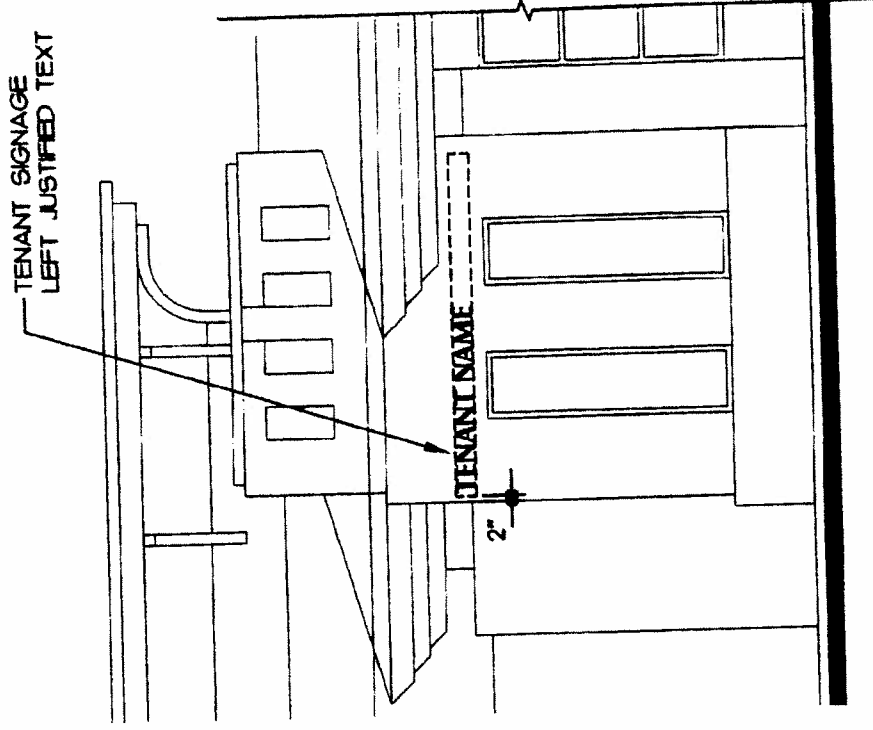
McDOWELL
MOUNTAINS

TENANT SIGNAGE
RIGHT JUSTIFIED TEXT



BUILDING ADDRESS IF APPROVED
BY FIRE DEPARTMENT

**BUILDING TYPE 'C' (SECONDARY SIGNAGE)
REAR ELEVATION (QUARTER-BUILDING TENANT)**



**BUILDING TYPE 'C' (SECONDARY SIGNAGE)
TYPICAL BUILDING CORNERS (QUARTER-BUILDING TENANT)**